

**AGENDA**  
**VILLAGE OF PLEASANT PRAIRIE**  
**PLEASANT PRAIRIE VILLAGE BOARD**  
**PLEASANT PRAIRIE WATER UTILITY**  
**PLEASANT PRAIRIE SEWER UTILITY**  
**Village Hall Auditorium**  
**9915 – 39<sup>th</sup> Avenue**  
**Pleasant Prairie, WI**  
**February 3, 2014**  
**6:00 p.m.**

1. Call to Order
2. Pledge of Allegiance
3. Roll Call
4. **Citizen Comments** (Please be advised per State Statute Section 19.84(2), information will be received from the public and there may be limited discussion on the information received. However, no action will be taken under public comments.)
5. Minutes of Meetings – January 6, 2014
6. Administrator’s Report
7. New Business
  - A. Consider Resolution #14-02 in appreciation and recognition to Gary Sullivan for his years of service to the Village.
  - B. Consider the 2014 Sewer Utility Budget and Resolution #14-03 adopting the budget.
  - C. Consider the 2014 Water Utility Budget and Resolution #14-04 adopting the budget.
  - D. Consider a Waiver of Liability and Indemnification Agreement between the Village and the owners of property located at 10536 2<sup>nd</sup> Avenue to allow for an existing 576 square foot detached garage and driveway to be located within the dedicated public walkway adjacent to their property.
  - E. Consider a Partial Termination of the 1998 Development Agreement between the Village of Pleasant Prairie and V.K. Development Corporation related to public improvements installed on Tax Parcel Number 91-4-122-082-0143 owned by Hospice Alliance Foundation, Inc.

Village Board Agenda  
February 3, 2014

- F. Consider a Set-Off & Release Agreement between the Village and Harpe Development, LLC related to the Whispering Knoll Subdivision and Harpe Development's obligations related to the Lien Release Agreement, and indemnifies the Village against competing claims to Harpe Development's special assessment refunds.
  - G. Consider an Agreement and Waiver of Special Assessment Notices and Hearing and Partial Termination of Agreement for SB1 Pleasant Prairie, LLC for STH 50 properties located in the Prairie Ridge Development.
  - H. Consider a one-year Service Agreement with Peak Democracy to utilize online public forum software.
  - I. Consider a Memorandum of Agreement with the Wisconsin Department of Transportation regarding the design and construction of the Pleasant Prairie Park and Ride on Terwall Terrace in Prairie Springs Park.
  - J. Consider purchase of wetland mitigation credits from the Wisconsin Department of Natural Resources for the proposed Park and Ride facility on Terwall Terrace in Prairie Springs Park.
  - K. Consider Amendment No. 2 to the Settlement Agreement with VIDHYA Corp. regarding the BP Station located at 10477 120<sup>th</sup> Avenue.
  - L. Consider appointments to the Plan Commission.
  - M. Consider Operator License Applications on file.
8. Village Board Comments
9. Adjournment

The Village Hall is handicapped accessible. If you have other special needs, please contact the Village Clerk, 9915 – 39<sup>th</sup> Avenue, Pleasant Prairie, WI (262) 694-1400

**VILLAGE OF PLEASANT PRAIRIE  
PLEASANT PRAIRIE VILLAGE BOARD  
PLEASANT PRAIRIE WATER UTILITY  
PLEASANT PRAIRIE SEWER UTILITY  
9915 - 39th Avenue  
Pleasant Prairie, WI  
January 6, 2014  
6:00 p.m.**

A regular meeting of the Pleasant Prairie Village Board was held on Monday, January 6, 2014. Meeting called to order at 6:00 p.m. Present were Village Board members John Steinbrink, Monica Yuhas, Steve Kumorkiewicz, Clyde Allen and Mike Serpe. Also present were Michael Pollocoff, Village Administrator; Tom Shircel, Assistant Administrator; Jean Werbie-Harris, Community Development Director; Kathy Goessl, Finance Director; Dave Smetana, Police Chief; Doug McElmury, Fire & Rescue Chief; Rocco Vita, Village Assessor; Mike Spence, Village Engineer; John Steinbrink Jr., Public Works Director; Carol Willke, HR and Recreation Director; Sandro Perez, Inspection Superintendent and Jane M. Romanowski, Village Clerk. One citizen attended the meeting.

- 1. CALL TO ORDER**
- 2. PLEDGE OF ALLEGIANCE**
- 3. ROLL CALL**
- 4. CITIZEN COMMENTS**

Jane Romanowski:

There are none.

John Steinbrink:

Anybody wishing to speak under citizen comments? Hearing none I'll close citizen comments.

- 5. MINUTES OF MEETINGS - DECEMBER 2 AND 9, 2013**

Monica Yuhas:

Motion to approve.

Steve Kumorkiewicz:

Second.

John Steinbrink:

Motion by Monica, second by Steve. Any additions, correction?

Village Board Meeting  
January 6, 2014

**YUHAS MOVED TO APPROVE THE MINUTES OF THE DECEMBER 2 AND DECEMBER 9, 2013 VILLAGE BOARD MEETINGS AS PRESENTED IN THEIR WRITTEN FORM; SECONDED BY KUMORKIEWICZ; MOTION CARRIED 5-0.**

**6. PUBLIC HEARING**

- A. Consider the request of Richard M. Stiles, Agent, Ruffolo's Pizza LLC, for anew Class "B" Fermented Malt Beverage License and a "Class B" Intoxicating Liquor License for premises known as Ruffolo's Pizza, 11820 Sheridan Road.**

Jane Romanowski:

Mr. President and Board members, Richard Stiles has been talking to be probably a year or year and a half about buying the restaurant from Frank. So he has applied for a license for the property at 11820 Sheridan Road. He's in the process of purchasing the property as I said and a tentative closing date is scheduled for January 28th. If the Board approves the license, first of all, he'd have to show ownership of the property or a lease of some sort, show that he has the premises for the license. He would have to pay liquor license prorated fees from the date of issuance through June 30th and publication costs. We'll check to make sure there are no delinquencies on any sewer bills, taxes, invoices, etc.

And then last Frank Ruffolo would have to surrender his license as there could not be two licenses for one premise. So Mr. Ruffolo has been given the surrender form. Right now, like I said, we're just waiting for the closing to take place. But obviously Mr. Stiles wanted to make sure that the license was secured. Chief Smetana has approved Mr. Stiles as an agent, and he has satisfied all over requirements. He has actually managed the restaurant since I think he said 1998 or so. So he's well aware of what the license entails, and he's very excited about purchasing the property.

Steve Kumorkiewicz:

I make a motion to approve -- public hearing, yes.

John Steinbrink:

I'll open it up to public comment or question.

Jane Romanowski:

There were no signups.

John Steinbrink:

Anybody wishing to speak? Anybody wishing to speak? Hearing none, I'll close the public hearing and open it up to Board comment or question.

Village Board Meeting  
January 6, 2014

Steve Kumorkiewicz:

No comments.

Michael Serpe:

Mr. Chairman, I'd move approval.

Clyde Allen:

Second.

John Steinbrink:

Any discussion?

**SERPE MOVED TO GRANT THE REQUEST OF RICHARD M. STILES, AGENT, RUFFOLO'S PIZZA LLC, FOR A NEW CLASS "B" FERMENTED MALT BEVERAGE LICENSE AND A "CLASS B" INTOXICATING LIQUOR LICENSE FOR PREMISES KNOWN AS RUFFOLO'S PIZZA, 11820 SHERIDAN ROAD, SUBJECT TO THE CONDITIONS SET FORTH BY STAFF; SECONDED BY ALLEN; MOTION CARRIED 5-0.**

## **7. ADMINISTRATOR'S REPORT**

Mike Pollocoff:

Through the course of the day we evaluated that it is cold outside. And public works made a decision that they had to make as far as operating the garbage trucks in this weather. It's hard on the equipment, plus the landfill isn't open. If we did collect it we'd have garbage trucks with frozen garbage. But they're going to out tomorrow even though it's going to be colder. It's going to be as cold in the morning, but it's going to warm up during the day and we'll go on from there. They did a really good job, it's been a long siege for them as far as dealing with the roads, the ice, the plowing. I know there was a lot of holiday plowing that some people might think great overtime, but after a while it gets old, and they did a good job of keeping the roads open so that the other departments could continue to do business. Hopefully we're in a trend but an aberration.

Steve Kumorkiewicz:

How is our salt situation?

Mike Pollocoff:

There's salt in the shed, and John told me today he's making an order. We go on the State bid, and he's going to put an order to fill the shed up. We won't use up all of our order, but it will get us ahead so we're not waiting in line in case this is a trend and we get more and more snow.

Village Board Meeting  
January 6, 2014

Clyde Allen:

Thank you, Mr. President. In regards to your report regarding public works and the plowing situation, we've had three trips to and from Chicago or Milwaukee. And one trip with a limo driver made a comment that I-94 was not very good. He got into the City and he said this is really bad. I took him down 82nd Street to avoid the City to show him the difference, and he said, wow, who plowed here. So they notice. It makes a big difference so thank you. And the guys did an admirable job all three occasions.

Mike Pollocoff:

The other thing I'd add is that in public works a long-time superintendent on the street side operations Gary Sullivan retired. He had 20 years, and I'll be bringing a resolution in February for Gary because he's retiring. He's not gone yet. But public works and HR went through a selection process, and they've selected an individual named Joe Middleton. He's been working for us for 11 years in public works. He's going to school to get his civil engineering degree. And I think it's just going to keep a level of expertise in that department getting higher and higher. Although I want to say Gary did a really good job. Clyde has described anybody that's seen how our streets have been managed over the years and winter operations, and Gary is the one pulling the trigger when we go.

**8. NEW BUSINESS**

**A. Consider a collection agency services agreement for Municipal Court.**

Richard Ginkowski:

We'll keep it brief. We identified since May a number of issues that needed to be addressed regarding fiscal responsibility. To be quite frank as the Municipal Judge I've been a little surprised at the number of people who, A, don't show up for court and, B, who don't pay their court obligations. And the legislature has given us very tools to work with. We utilize all of them to varying degrees depending on the circumstances. And I've outlined everything in a memo so I'm not going to repeat everything that's in the memo. The biggest thing that we looked at, though, is we need to deal with the things that we can't deal with ourselves, and that is collection of people whose fines have been on the books and they haven't been paid, what are we going to do about it? We can certify the tax intercept, that's been very, very successful. We do that, we will continue to do that.

We started a pilot program last summer where when we issue commitments to people basically those are warrants when people don't pay. We send them a copy, and we basically send them a letter saying you have three choices. A, come in and pay it, B, go see the sheriff or, C, wait for us to come and get you at the least opportune moment of your life. And that has had some success in getting people who have forgotten about their court date to come in within usually a few days and take care of it. It's those people that continue to blow us off that present a problem, and it has over the years and it needed to be addressed.

Village Board Meeting  
January 6, 2014

So we interviewed three different collection agencies that work with municipal courts in Wisconsin, each of which has experience in the area. They were PPS, PPS has the Kenosha Circuit Court; Stark Agency out of Madison which has the Kenosha Municipal Court. They're losing, however, the Madison Municipal Court contract because they failed to submit apparently a timely renewal proposal. And CMC which handles the fire department's collection I understand for ambulance services.

We were impressed mostly with PPS. They seem to be the ones to have a more significant handle on our needs. They were willing to go after the older accounts. They were unequivocal about that. The other two potential vendors were equivocal on that issue. It's our belief, and I consulted with the staff since they have to work with that. And Kathy Goessl sat in on two of the interviews as well. And PPS represents at this point the best fit with our software and with our needs.

CMC they came in with a lower bid, however they didn't want to get involved unequivocally with older cases. And that seemed also to be the case with Stark. I was not impressed with, to be perfectly honest, Stark's presentation. It left a little bit to be desired. And also some of the feedback that we had it indicated that they were okay, but PPS definitely had a more professional understanding of our needs and seemed to be able to work with us the best. And so that was our recommendation for a potential partner in this area.

And the last thing that I will point out tonight would be that we will take and try first to pursue these ourselves before we send them out. And by that I mean that we do tax intercept, we send out the letters. So basically when something is maybe more than a year or so out of date then we will put it out for collections because we want to give people an opportunity to take care of it. And also at that point in time it takes us time, it takes us a year for things to get the tax intercept. So if we put it into tax intercept ourselves we don't have to pay the fee to the collection agency. Once we've given them an account then they, of course, get their cut, and their cut is very reasonable.

Also PPS the 19 percent fee that they charge that's the same circuit court is paying. Becky Matoska-Mentink, Village [inaudible] our Clerk of Circuit Court I interviewed her, and she spoke well of them and recommended them. So with that if there's any questions I'll be glad to answer them. But I believe that PPS represents the best partnership at this point in time. If it doesn't work out we can always move on to someone else.

John Steinbrink:

Thank you.

Mike Pollocoff:

Dick, for waiting that year and seeing if you can get it through tax intercept I understand that. But if it's somebody who is not a Wisconsin resident would you still wait a year?

Village Board Meeting  
January 6, 2014

Richard Ginkowski:

That's probably likely to be less than that. I think we would move quicker on the non-resident accounts. I'll be perfectly blunt with you, though. One of the things that has surprised me, this is anecdotal, but I think for the people who don't show and don't take care of their obligations you would think that there are people south of the State line that would be more likely to do that. And quite frankly we have people drive up in bad weather from Waukegan and Zion to appear and take care of things. And we have people ten blocks away who blow us off. But that's one of the benefits of going with a collection agency partner. And I'm glad you mentioned that is the fact that it gives us a handle of working with non-residents.

One thing we have noticed anecdotally as well is that if I suspend a driver's license or driving privilege for non-payment of a fine, the State of Illinois now has begun reciprocally honoring them. So we have had people come in from Illinois that I suspended their driver's licence for two years, Wisconsin has notified Illinois, Illinois has suspended their driver's license. And they've come in and said, hey, I got this suspension notice from the Secretary of State, what do I do about it? So we're having some success. It will never be perfect, but every dollar that comes in that we didn't have before is one that we didn't have before or 81 cents that we didn't have before.

One final thing to point out, and I just mention this, the State doesn't send us a dime, and yet out of every citation, conviction in court that we collect we have to send \$5 to Madison. And with that any questions?

John Steinbrink:

Some things never change.

Michael Serpe:

Who do we authorize -- does the Judge authorize to get the signature on this or does it come to John?

Mike Pollocoff:

It comes to John.

Michael Serpe:

I'd move approval of the contract with PPS.

Clyde Allen:

Second.



Village Board Meeting  
January 6, 2014

John Steinbrink:

Motion by Mike, second by Clyde. Any further discussion or questions?

**SERPE MOVED TO APPROVE A COLLECTION SERVICES AGREEMENT WITH PROFESSIONAL PLACEMENT SERVICES FOR MUNICIPAL COURT; SECONDED BY ALLEN; MOTION CARRIED 5-0.**

**B. Consider Resolution #14-01 rescinding Final Resolution #13-15 levying special assessments for final public road and street tree improvements for the Whispering Knoll Subdivision.**

Mike Pollocoff:

Mr. President, we did conduct a hearing and levied special assessments in the Whispering Knoll Subdivision as a result basically of the failure of the subdivision to complete its improvements on time and not having enough money to do that. Prior to that our attorney in court had filed a lien on the properties so that before the properties would go into foreclosure we'd have some opportunity to at least have a hook in there to get possibly some settlement to lower the cost of the improvements in there.

Our initial estimation on the construction was \$379,000. Our actual came in less. We did some - Mike and John had worked on some different ways of setting the existing asphalt that was there where we tape it in places rather than ripping it up, and we saved \$108,763.00. We didn't need to get into the contingency - the project was managed really tight. That saved \$20,611. And we did as a result of developer Harp trying to get in and get ahead of the market wanting to require the lots in order to get us to release the lien he agreed to pay \$45,000 over a period of time as sales transacted when he sold his lots. I think he picked up eight lots to offset that cost. We had a lower bid on street trees. Our engineering was \$3,000 less.

So what we've been able to do, and one of the reasons we need to act on this is land transacts and there's outstanding assessments that have either been levied or contemplated to be levied. So in order to minimize the number of wars between buyers and sellers that are buying and selling property and they don't know what the status of this is, and based on the fact that we're essentially minus \$5,800. We're going to be able to eliminate all assessments for everyone.

I'm recommending that this resolution resend the previous one where we levied these assessments. They were slated to be collected this coming December so everybody knows they're not going to have to set that money aside and they can adjust their escrows. There's still a special assessment that's going to be paid by the developer that he would also receive that same benefit of that rescission of this of the project. So based on what we saved that's where we come up with a shortfall of \$5,835, and I think we're still going to try to negotiate to get that out. So this has a happier ending than we thought it would be. I think the typical assessment was \$4,000 per parcel, and we're able to get this thing done and get that project squared away so there's an assessment. So I'd recommend that Resolution 14-01 be approved as presented and the assessments be rescinded.

Village Board Meeting  
January 6, 2014

Michael Serpe:

Are the property owners aware of this yet?

Mike Pollocoff:

We send a letter notifying them just so we can kind of interject so they know if they go to sell property that this is happening. This will actually formalize it.

Michael Serpe:

Great work, great job.

Mike Pollocoff:

Good job for engineering and public works to get that project in on cost. Attorney Camilli did a good job of binding this thing up a little bit with the liens and tightening it up.

Monica Yuhas:

Motion to approve Resolution 14-01.

Steve Kumorkiewicz:

Second.

John Steinbrink:

Motion by Monica, second by Steve for adoption of Resolution 14-01. Any further discussion or questions?

**YUHAS MOVED TO ADOPT RESOLUTION #14-01 RESCINDING FINAL RESOLUTION #13-15 LEVYING SPECIAL ASSESSMENTS FOR FINAL PUBLIC ROAD AND STREET TREE IMPROVEMENTS FOR THE WHISPERING KNOLL SUBDIVISION; SECONDED BY KUMORKIEWICZ; MOTION CARRIED 5-0.**

**C. Consider the request for a new Towing License for Pro Towing.**

Jane Romanowski:

Sharon Wienke has applied for a towing license under the name of Pro Towing at 6018 26th Avenue. Sharon indicated to me that her dad has been in a towing company in Racine for 26 years. She's splitting off and starting her own company. So she has met the requirements of the ordinance. The police department did complete an inspection of the lot and equipment and has approved her place of business. So I recommend the towing license be issued to her from

Village Board Meeting  
January 6, 2014

tomorrow through June 30th. She also indicated that she's buying out Glassman Towing, which means she couldn't have a license there and this license because there would be financial interest there. But she's using that lot as an overflow for her lot. So I'm assuming Glassman won't be coming in to renew his. So if this is approved we'll put her on the list, the rotating list with the police department, and we'll see what happens in probably June when they apply for a towing license. But she did indicate that that's what she's planning on doing.

Clyde Allen:

Motion to approve.

Michael Serpe:

Second.

John Steinbrink:

Motion by Clyde, second by Mike. Further discussion?

**ALLEN MOVED TO APPROVE A TOWING LICENSE FOR PRO TOWING AS PRESENTED; SECONDED BY SERPE; MOTION CARRIED 5-0.**

**D. Consider Operator License Applications on file.**

Jane Romanowski:

Just two tonight for Samantha Chatmon and Brittany Durkee, and they both have passed the matrix so good for approval.

Monica Yuhas:

So moved.

Steve Kumorkiewicz:

Second.

John Steinbrink:

Motion by Monica, second by Steve. Any discussion?

**YUHAS MOVED TO APPROVE OPERATOR LICENSES FOR SAMANTHA CHATMON AND BRITTANY DURKEE; SECONDED BY KUMORKIEWICZ; MOTION CARRIED 5-0.**

Village Board Meeting  
January 6, 2014

**9. VILLAGE BOARD COMMENTS**

John Steinbrink:

Clyde?

Clyde Allen:

Thank you, Mr. President. My question is for either Mike or Jean. Did Scotty's get all of the work done by 12:31 that was required?

Jane Romanowski:

Yes, he did.

Clyde Allen:

Thank you.

John Steinbrink:

The snow made it look better.

Mike Pollocoff:

Yeah. I'd also request that the Board consider based on the quorum and items not on the agenda that we forego the January 20th meeting for the Village Board this month.

**10. ADJOURNMENT**

**SERPE MOVED TO ADJOURN THE MEETING; SECONDED BY KUMORKIEWICZ;  
MOTION CARRIED 5-0 AND MEETING ADJOURNED AT 6:25 P.M.**

Resolution No. 14-02

**Resolution of Appreciation and Recognition  
to Gary Sullivan for His Years of Service  
to the Village of Pleasant Prairie**

*WHEREAS*, Gary Sullivan, Street Foreman, will retire on February 12, 2014, after twenty years of outstanding service to the Public Works Department in the Village of Pleasant Prairie; and

*WHEREAS*, Gary began his career with the Village of Pleasant Prairie on August 2, 1993 as Truck Driver, and was promoted to Street Foreman on April 30, 2001; and

*WHEREAS*, throughout his many years of service, Gary Sullivan has served the people of this Village with integrity and dedication; and

*WHEREAS*, Gary's expertise and devotion to duty has had a valuable effect on the efficiency and morale in his department and the Village; and

*WHEREAS*, the Village of Pleasant Prairie would like to acknowledge and thank Gary Sullivan for his service to the Village and recognize him for his commitment and dedication to the Village of Pleasant Prairie and the community throughout his employment.

*NOW, THEREFORE BE IT RESOLVED*, that the Village of Pleasant Prairie does hereby extend to Gary Sullivan our sincere respect and appreciation for his dedicated service to the Department of Public Works and the Village, our congratulations on his well-earned retirement, and our best wishes to him for continued success, happiness, and good health in the years to come.

*Considered and adopted this 3<sup>rd</sup> day of February, 2014.*

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*John P. Steinbrink, President*

Attest:

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*Jane M. Romanowski, Clerk*



# VILLAGE OF PLEASANT PRAIRIE

## BUDGET COVER PAGE

**BUDGET YEAR:** 2014

**DEPARTMENT:** Sewer Utility



**SUBMITTED BY:** John Steinbrink, Jr., Public Works Director

# VILLAGE OF PLEASANT PRAIRIE

## Overview

**BUDGET YEAR:** 2014

**DEPARTMENT:** Sewer Utility

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The Department of Public Works Utility Division manages, maintains, repairs and constructs the sewer and water infrastructure. The department consists of seven full time employees, two year round part time employees and two seasonal employees during the summer months supervised by an Utility Foreman. Work processes are continually being evaluated to improve efficiencies within the Utility department.

### **Projects completed in 2013**

The Utility department abandoned the Sewer D treatment plant in 2011. The Village could not justify keeping the lab certified with the small amount of samples to test. The lab equipment was sold on EBay and the room will house electrical parts for the Utility. The Chorine contact weir will be modified to create a dump pit for the street sweeper and dump trucks. This dump pit will allow the solids to settle for proper disposal and the clean water to discharge.

Village staff designed and rebuilt the Carol Beach Lift unit 1 lift station. The old lift station has exceeded its useful service life. The new list station will have rebuilt pumps, safety grating, controls, and monitoring devices.

A new generator was installed at Carol Beach Unit A Lift station. This capital improvement will provide Utility customers sewer service when power from We Energies is interrupted.

Contracts were completed in the second year of the sewer main relining project in Cooper Rd basin area. The sewer mains and manholes will be completed in 2014 with lateral lining starting in 2015.

### **Projects for 2014**

An ongoing goal for the department is to reduce the amount of Inflow and Infiltration (I/I) that leaks into the sewer system. Areas within the sewer district will be evaluated by staff over the winter months to identify where the worst I/I flows are entering the system. Those areas will be repaired to lower the treatment costs to the Utility.

As a part of capital replacement, utility staff will rebuild the 63rd Street lift station. We will use the same design in Carol Beach Unit A and 1.

Management will focus on completing these projects and monitoring energy consumption using updated SCADA reports at the large lift stations.

# VILLAGE OF PLEASANT PRAIRIE

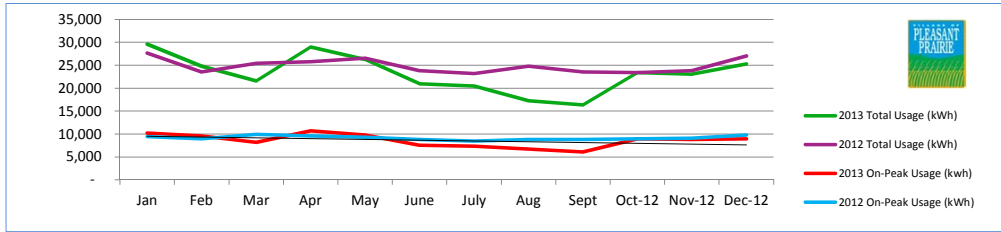
## TRENDING REPORT

DEPARTMENT: Sewer Utility

BUDGET YEAR: 2014

Trend # 1

### Lakeview Lift Electrical Usage



2013	2013 Total Usage (kWh)	2013 On-Peak Usage (kWh)
Jan	29,600	10,240
Feb	24,800	9,600
Mar	21,600	8,160
Apr	28,960	10,720
May	26,240	9,760
June	20,960	7,520
July	20,480	7,360
Aug	17,280	6,720
Sept	16,320	6,080
Oct-12	23,360	8,960
Nov-12	23,040	8,800
Dec-12	25,280	8,960

Reduce energy consumption at Lakeview Lift Station by managing lift station controls.



# VILLAGE OF PLEASANT PRAIRIE

## Goals

**BUDGET YEAR:** 2013

**DEPARTMENT:** Select...

**UPDATE TYPE:** 4th QTR

### GOALS:

Limited to three (3) goals. Description and Results limited to 500 text characters.

### GOAL #1

**TITLE:** Reduce Inflow and Infiltration of manholes

<input checked="" type="checkbox"/> NUMBER <input type="checkbox"/> PERCENT  Percent will show as whole numbers. If percent, total must equal 100 for your goal and forecast lines.		<b>1st QTR</b>	<b>2nd QTR</b>	<b>3rd QTR</b>	<b>4th QTR</b>	<b>TOTAL</b>
	<b>GOAL</b>		20	20		40
	<b>ACTUAL</b>	6	19	0	0	25
	<b>FORECAST</b>	6	19	0	0	25

<b>DESCRIPTION</b>	The Village has 2940 manholes in the sanitary sewer system. Many of these manholes have small leaks. A one gallon per minute (GPM) leak will add 518,400 gallons over a one year period to the volume of treated flow to the City of Kenosha. The cost to treat 1000 gallons is \$1.55, so every one GPM leak could cost over \$800 per year. The cost to grout an average manhole is \$500. This goal would be to grout 40 manholes.
<b>RESULTS</b>	Village utility crews grouted 25 manholes in 2013 until higher priority projects took precedence. Grouting will resume as weather permits.

# VILLAGE OF PLEASANT PRAIRIE

## Goals

**BUDGET YEAR:** 2013

**DEPARTMENT:** Select...

**UPDATE TYPE:** 4th QTR

### GOAL #2

**TITLE:** Reduce Energy Consumption at LakeView Lift Station

- NUMBER  
 PERCENT

Percent will show as whole numbers. If percent, total must equal 100 for your goal and forecast lines.

	1st QTR	2nd QTR	3rd QTR	4th QTR	TOTAL
<b>GOAL</b>	2	2	2	2	8
<b>ACTUAL</b>	-4	-5	14	18	23
<b>FORECAST</b>	-4	-5	14	18	23

<b>DESCRIPTION</b>	The Sewer Utility spent \$33,347 over the last 12 months in electrical charges pumping at the Lake View lift station. It is the goal of the Utility to better manage motor controls to reduce energy costs.
<b>RESULTS</b>	Electrical charges for the last 12 months, December of 2012 through November of 2013, were \$31,884 showing that the Utility has been successful in reducing energy costs.

# VILLAGE OF PLEASANT PRAIRIE

## Goals

**BUDGET YEAR:** 2014

**DEPARTMENT:** Select...

**UPDATE TYPE:** Original

### GOALS:

Limited to three (3) goals. Description and Results limited to 500 text characters.

#### GOAL #1

**TITLE:** Reduce Inflow and Infiltration of manholes

<input checked="" type="checkbox"/> NUMBER <input type="checkbox"/> PERCENT  Percent will show as whole numbers. If percent, total must equal 100 for your goal and forecast lines.		<b>1st QTR</b>	<b>2nd QTR</b>	<b>3rd QTR</b>	<b>4th QTR</b>	<b>TOTAL</b>
	<b>GOAL</b>		20	20		40
	<b>ACTUAL</b>					0
	<b>FORECAST</b>					0

<b>DESCRIPTION</b>	The Village has 2940 manholes in the sanitary sewer system. Many of these manholes have small leaks. A one gallon per minute (GPM) leak will add 518,400 gallons over a one year period to the volume of treated flow to the City of Kenosha. The cost to treat 1000 gallons is \$1.55, so every one GPM leak could cost over \$800 per year. The cost to grout an average manhole is \$500. This goal would be to grout 40 manholes.
<b>RESULTS</b>	

# VILLAGE OF PLEASANT PRAIRIE

## Goals

DEPARTMENT: Select...

BUDGET YEAR: 2014

UPDATE TYPE: Original

### GOAL #2

TITLE: Reduce Energy Consumption at LakeView Lift Station

- NUMBER  
 PERCENT

Percent will show as whole numbers. If percent, total must equal 100 for your goal and forecast lines.

	1st QTR	2nd QTR	3rd QTR	4th QTR	TOTAL
<b>GOAL</b>	2	2	2	2	8
<b>ACTUAL</b>					0
<b>FORECAST</b>					0

<b>DESCRIPTION</b>	The Sewer Utility spent \$24,682 over the last 9 months in electrical charges pumping at the Lake View lift station. It is the goal of the Utility to better manage motor controls to reduce energy costs.
<b>RESULTS</b>	

		ACTUAL 2011	ACTUAL 2012	H4Y201312	AMEND 2013	ACTUAL 2013	EST2013	DEPT2014	DEPTREQ14	
	ACCOUNT	Label	Actuals 2011	Actuals 2012	Original Budget 2013	Amended Budget 2013	Actuals 2013	Estimate 2013	Non HR Request	Total Department Request
		<b>SEWER OPERATING REVENUES</b>								
		<b>PLEASANT PRAIRIE (LM) OPERATING REVENUE</b>								
+	426211000	Residential flat rate revenues	2,434,816	2,559,450	2,552,781	2,552,781	2,098,862	2,512,743	2,524,000	2,524,000
+	426212000	Commercial revenues	793,666	798,633	791,750	791,750	694,862	831,262	635,924	833,000
+	426213000	Industrial revenues	732,594	595,457	669,000	669,000	551,918	693,240	501,674	685,000
+	426214000	Public authority revenues	63,249	59,164	58,000	58,000	44,942	52,800	54,000	54,000
+	426350000	Misc. Operating revenue - Pleasant Prairie	1,799	1,273	1,000	1,000	5,000	5,000	1,000	1,000
+	466215000	Industrial Surcharge	426,555	403,828	380,000	380,000	357,981	476,160	476,000	476,000
+	466216000	Residential Surcharge	2,117	6,290	6,290	6,290	5,242	6,290	6,290	6,290
=	<b>LMSALES</b>	<b>Pleasant Prairie Sales</b>	<b>4,454,795</b>	<b>4,424,096</b>	<b>4,458,821</b>	<b>4,458,821</b>	<b>3,758,807</b>	<b>4,577,495</b>	<b>4,198,888</b>	<b>4,579,290</b>
=	<b>LMOPREV</b>	<b>Pleasant Prairie Total Operating Revenue</b>	<b>4,454,795</b>	<b>4,424,096</b>	<b>4,458,821</b>	<b>4,458,821</b>	<b>3,758,807</b>	<b>4,577,495</b>	<b>4,198,888</b>	<b>4,579,290</b>
		<b>LAKE MICHIGAN (D) OPERATING REVENUE</b>								
	446211000	Residential flat rate revenues	58,215	63,507	64,000	64,000	53,039	63,647	64,000	64,000
=	<b>DSALES</b>	<b>Lake Michigan ( D) Sales</b>	<b>58,215</b>	<b>63,507</b>	<b>64,000</b>	<b>64,000</b>	<b>53,039</b>	<b>63,647</b>	<b>64,000</b>	<b>64,000</b>
=	<b>DOPREV</b>	<b>Lake Michigan (D) Total Operating Revenue</b>	<b>58,215</b>	<b>63,507</b>	<b>64,000</b>	<b>64,000</b>	<b>53,039</b>	<b>63,647</b>	<b>64,000</b>	<b>64,000</b>
=	<b>TOTOPREV</b>	<b>Total Operating Revenue</b>	<b>4,513,010</b>	<b>4,487,603</b>	<b>4,522,821</b>	<b>4,522,821</b>	<b>3,811,846</b>	<b>4,641,142</b>	<b>4,262,888</b>	<b>4,643,290</b>
		<b>SEWER OPERATING EXPENSES</b>								
		<b>PLEASANT PRAIRIE OPERATING EXPENSES</b>								
	610403600	Depreciation expense	1,435,629	1,453,562	1,435,629	1,435,629	0	1,435,629	121,250	1,455,000
=	<b>LM403</b>	<b>Pleasant Prairie Depreciation</b>	<b>1,435,629</b>	<b>1,453,562</b>	<b>1,435,629</b>	<b>1,435,629</b>	<b>0</b>	<b>1,435,629</b>	<b>121,250</b>	<b>1,455,000</b>
	610408500	Utility tax equivalent	9,460	10,386	9,460	9,460	0	10,386	871	10,386
=	<b>LM408</b>	<b>Pleasant Prairie Utility Tax Equivalent</b>	<b>9,460</b>	<b>10,386</b>	<b>9,460</b>	<b>9,460</b>	<b>0</b>	<b>10,386</b>	<b>871</b>	<b>10,386</b>
=	<b>610820110</b>	<b>Salaries</b>	<b>99,558</b>	<b>85,114</b>	<b>71,444</b>	<b>71,444</b>	<b>54,569</b>	<b>0</b>	<b>4,210</b>	<b>50,522</b>
	610820111	Part time Salaries	137	700	0	0	121	0	0	0
=	<b>610820112</b>	<b>Overtime salaries</b>	<b>1,691</b>	<b>417</b>	<b>500</b>	<b>500</b>	<b>0</b>	<b>0</b>	<b>42</b>	<b>500</b>
=	<b>610820151</b>	<b>Social security</b>	<b>7,688</b>	<b>6,542</b>	<b>5,504</b>	<b>5,504</b>	<b>4,575</b>	<b>0</b>	<b>325</b>	<b>3,903</b>
=	<b>610820152</b>	<b>Wisconsin retirement</b>	<b>7,088</b>	<b>4,540</b>	<b>4,784</b>	<b>4,784</b>	<b>3,651</b>	<b>0</b>	<b>298</b>	<b>3,572</b>
=	<b>610820153</b>	<b>Worker's compensation</b>	<b>3,921</b>	<b>3,028</b>	<b>3,068</b>	<b>3,068</b>	<b>2,388</b>	<b>0</b>	<b>169</b>	<b>2,031</b>
=	<b>610820154</b>	<b>Health &amp; life benefits</b>	<b>22,412</b>	<b>21,161</b>	<b>15,551</b>	<b>15,551</b>	<b>14,813</b>	<b>0</b>	<b>935</b>	<b>11,222</b>
	610820158	Long - term disability insurance	0	0	0	0	0	0	0	0
	610820159	Retiree Medical Benefits	2,450	1,631	3,344	3,344	2,347	2,817	286	3,344
	610820199	Personnel Transfers	0	0	0	0	0	0	0	0
	610820202	Employment Evaluations (Written Exams)	766	778	730	730	1,462	1,462	86	1,010
	610820210	Attorney fees	0	0	0	0	0	0	0	0
	610820214	Consultant/contractual service	0	0	0	0	30	30	0	0
	610820260	Travel/Mileage Reimbursement	85	1,787	1,757	1,757	1,074	1,074	150	1,800
	610820261	Conference/Meeting related expenses	399	1,426	1,426	1,426	2,097	2,097	175	2,100
+	610820262	Conferences/seminars/training	5,706	1,770	2,560	2,560	4,339	4,339	217	2,560

		ACTUAL 2011	ACTUAL 2012	H4Y201312	AMEND 2013	ACTUAL 2013	EST2013	DEPT2014	DEPTREQ14	
	ACCOUNT	Label	Actuals 2011	Actuals 2012	Original Budget 2013	Amended Budget 2013	Actuals 2013	Estimate 2013	Non HR Request	Total Department Request
	610820277	Sludge removal contractor	495	0	0	0	0	0	0	0
	610820350	Minor equipment/tool replacemt	0	0	0	0	0	0	0	0
	610820905	Internal Service Fund	8,835	5,520	8,800	8,800	358	801	87	1,000
	CYESTS820	Current Year Estimated Salaries & Benefits	0	0	0	0	94,690	0	0	0
=	LM820	Pleasant Prairie Operation - supervision & labor	161,231	134,416	119,468	119,468	91,824	107,310	6,980	83,563
	610821220	Electric	82,398	62,286	74,000	74,000	50,878	60,656	5,424	65,000
	610821221	Gas	6,018	2,365	7,000	7,000	1,761	2,175	250	3,000
=	LM821	Pleasant Prairie Power / fuel for pumping	88,416	64,651	81,000	81,000	52,639	62,831	5,674	68,000
+	610826356	Chemicals	13,428	14,676	14,000	14,000	9,927	9,927	1,174	14,000
=	LM826	Pleasant Prairie Other Chemicals - Sewage Treatment	13,428	14,676	14,000	14,000	9,927	9,927	1,174	14,000
	610827223	Municipal Water	2,392	3,606	3,600	3,600	1,744	2,544	300	3,600
	610827224	Telephone service	1,003	816	900	900	726	792	75	900
	610827225	Cellular telephone	1,624	1,742	1,800	1,800	1,250	1,800	150	1,800
	610827226	Data/voice communications	0	0	0	0	0	0	0	0
	610827228	Garbage/Recycling	900	900	900	900	685	900	75	900
	610827229	Clean Water	3,395	3,222	3,395	3,395	2,424	3,260	287	3,400
	610827242	Contracted Equipment Maintenance	256	0	0	0	0	0	0	0
	610827292	Commercial sewer treatment	23,228	17,679	23,000	23,000	14,886	18,200	18,500	18,500
	610827293	Unmetered residential treatmt	284,237	237,192	300,000	300,000	196,813	250,000	300,000	300,000
+	610827294	Metered wastewater treatment	1,496,593	1,452,903	1,502,000	1,502,000	1,265,263	1,615,000	1,502,000	1,502,000
+	610827335	Lab supplies	4,229	0	0	0	0	0	0	0
	610827352	Uniform services & uniforms	411	978	1,000	1,000	274	400	87	1,000
	610827353	Safety equipment	1,205	1,958	1,700	1,700	1,501	2,197	149	1,700
	610827355	Janitorial/cleaning supplies	0	0	0	0	0	0	0	0
	610827399	Miscellaneous expense	99	16	100	100	0	0	12	100
	610827592	Dnr discharge permit	9,770	9,770	9,770	9,770	9,770	9,770	816	9,770
=	LM827	Pleasant Prairie Other Operating Supplies	1,829,341	1,730,782	1,848,165	1,848,165	1,495,336	1,904,863	1,822,451	1,843,670
=	LM828	Pleasant Prairie Transportation Expense	0	0	0	0	1,000	0	0	0
=	610831110	Salaries	88,953	87,743	94,281	94,281	63,095	0	8,622	103,448
=	610831111	Part - time salaries	11,611	9,820	16,297	16,297	10,307	0	1,284	15,409
=	610831112	Overtime salaries	6,341	3,268	5,000	5,000	6,239	0	417	5,000
=	610831151	Social security	8,410	7,627	8,842	8,842	5,701	0	790	9,475
=	610831152	Wisconsin retirement	8,397	5,710	7,686	7,686	4,552	0	723	8,670
=	610831153	Worker's compensation	4,299	3,610	4,432	4,432	3,723	0	408	4,899
=	610831154	Health & life benefits	28,024	25,941	29,170	29,170	25,000	0	2,674	32,085
=	610831158	Long - term disability insurance	8	4	12	12	3	0	1	12
	610831159	Retiree Medical Benefits	6,397	4,260	8,939	8,939	6,452	7,678	755	8,939
	610831205	Publication of notices agendas	229	0	300	300	166	166	25	300
	610831212	Engineering services	0	0	500	500	0	0	49	500
+	610831214	Consultant/contractual service	40,683	14,707	31,000	31,000	4,075	10,818	2,598	31,000

		ACTUAL 2011	ACTUAL 2012	H4Y201312	AMEND 2013	ACTUAL 2013	EST2013	DEPT2014	DEPTREQ14	
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	610831220	Electric	1,896	1,513	2,100	2,100	1,567	1,872	175	2,100
	610831242	Contracted equipment maintenance	0	2,006	1,800	1,800	147	147	150	1,800
+	610831350	Minor equipment/tool replacem	0	1,696	0	0	793	3,628	0	0
	610831352	Uniforms & uniform service	0	0	0	0	0	0	0	0
+	610831356	Chemicals	219	2,890	2,500	2,500	387	400	212	2,500
+	610831362	Equipment maintenance supplies	13,521	13,409	9,000	9,000	8,782	12,242	750	9,000
	601831364	Building maintenance supplies	0	0	0	0	0	0	0	0
	610831370	Landscaping supplies	65	373	350	350	1,152	1,152	125	1,500
	610831390	Grant - 85th Street	0	0	0	0	0	0	0	0
	610831399	Misc. Expense	276	93	600	600	0	45	50	600
+	610831800	Construction Materials	16,185	1,713	10,000	10,000	0	0	174	2,000
	610831821	Construction - contractor	0	0	0	0	0	0	0	0
	610831905	Internal Service Fund	92,563	83,484	105,979	105,979	78,219	84,628	7,087	85,000
	CYESTS831	Current Year Estimated Salaries & Benefits	0	0	0	0	0	134,000	0	0
=	LM831	Pleasant Prairie Maintenance Collection System	328,075	269,867	338,788	338,788	220,359	256,776	27,069	324,237
=	610832110	Salaries	52,374	54,828	70,737	70,737	64,482	0	6,460	77,516
=	610832111	Part - time salaries	8,303	6,112	5,836	5,836	10,506	0	505	6,063
=	610832112	Overtime salaries	4,911	3,120	3,852	3,852	4,309	0	328	3,934
=	610832151	Social security	4,969	4,880	6,153	6,153	5,649	0	558	6,695
=	610832152	Wisconsin retirement	4,570	3,661	5,348	5,348	4,819	0	510	6,126
=	610832153	Worker's compensation	2,659	1,953	3,104	3,104	2,762	0	290	3,483
=	610832154	Health & life benefits	16,223	17,919	20,663	20,663	22,571	0	1,916	22,990
	610832158	Long - term disability insurance	0	0	0	0	0	0	0	0
	610832159	Retiree Medical Benefits	2,586	1,722	3,614	3,614	2,478	2,973	303	3,614
	610832199	Personnel Transfers	0	0	0	0	0	0	0	0
+	610832214	Consultant/contractual service	26,055	7,888	10,000	10,000	927	2,907	848	10,000
	610832224	Telephone service	6,401	5,028	5,512	5,512	4,466	4,872	463	5,512
	610832226	Data/voice communication	0	0	0	0	0	0	0	0
	610832230	Equipment rental	0	0	0	0	0	0	0	0
+	610832242	Contracted equipment maintenance	4,839	7,820	8,000	8,000	1,180	18,619	674	8,000
+	610832350	Minor equipment/tool replacem	292	0	0	0	2,657	2,657	0	0
+	610832362	Equipment maintenance supplies	12,592	11,030	20,000	20,000	11,523	15,000	1,674	20,000
	610832364	Building maintenance supplies	0	0	0	0	0	0	0	0
	610832399	Miscellaneous expense	282	37	100	100	0	0	12	100
	610832821	Construction - contractor	0	0	0	0	0	0	0	0
+	610832905	Internal Service Fund	35,953	32,120	36,894	36,894	35,822	41,560	3,224	38,556
	CYESTS832	Current Year Estimated Salaries & Benefits	0	0	0	0	0	126,000	0	0
=	LM832	Pleasant Prairie Maintenance Pumping Equipment	183,009	158,117	199,813	199,813	174,152	214,588	17,765	212,589
=	610833110	Salaries	885	0	0	0	0	0	0	0
=	610833111	Part - time salaries	23	0	0	0	0	0	0	0
=	610833112	Overtime salaries	0	0	0	0	0	0	0	0
=	610833151	Social security	68	0	0	0	0	0	0	0
=	610833152	Wisconsin retirement	99	0	0	0	0	0	0	0
=	610833153	Workers compensation	39	0	0	0	0	0	0	0

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=	610833154	Health & life benefits	284	0	0	0	0	0	0	0
	610833158	Long - term disability insurance	0	0	0	0	0	0	0	0
	610833159	Retiree medical benefits	36	45	79	79	65	79	13	79
	610833214	Consultant/contractual service	95	0	0	0	0	0	0	0
	610833221	Natural gas	1,389	808	1,500	1,500	811	1,049	125	1,500
	610833224	Telephone services	491	0	0	0	0	0	0	0
	610833242	Contracted equipment maintenance	105	785	100	100	0	0	12	100
	610833244	Contracted building maintenance	350	0	500	500	0	0	49	500
	610833350	Minor equipment/tool replacemt	0	0	0	0	0	0	0	0
	610833362	Equipment maintenance supplies	0	0	0	0	250	250	0	0
	610833364	Building maintenance supplies	0	558	600	600	0	0	50	600
	610833905	Internal Service Fund	1,134	0	0	0	0	0	0	0
	CYESTS833	Current Year Estimated Salaries & Benefits	0	0	0	0	0	0	0	0
=	LM833	Pleasant Prairie Maintenance Disposal Plant Equipm	4,997	2,197	2,779	2,779	1,126	1,378	249	2,779
=	610834110	Salaries	1,099	4,663	1,728	1,728	(171)	0	141	1,693
=	610834111	Part - time salaries	999	1,007	2,316	2,316	0	0	201	2,406
=	610834112	Overtime salaries	0	0	0	0	0	0	0	0
=	610834151	Social security	160	428	309	309	(13)	0	26	314
=	610834152	Wisconsin retirement	91	340	269	269	(11)	0	24	287
=	610834153	Workers compensation	77	190	156	156	7	0	14	163
=	610834154	Health & life benefits	159	620	751	751	56	0	62	749
	610834159	Retiree Medical Benefits	2,110	1,405	2,948	2,948	2,021	2,426	253	2,948
	610834199	Personnel Transfers	0	0	0	0	0	0	0	0
	610834242	Contracted equipment maintenance	0	0	0	0	0	0	0	0
	610834244	Contracted building maintenance	1,574	0	500	500	0	0	49	500
	610834362	Equipment maintenance supplies	0	9	200	200	0	0	24	200
	610834364	Building maintenance supplies	5,746	85	1,000	1,000	0	11	87	1,000
+	610834905	Internal Service Fund	1,534	10,307	3,000	3,000	384	384	380	4,516
	CYESTS834	Current Year Estimated Salaries & Benefits	0	0	0	0	(133)	0	0	0
=	LM834	Pleasant Prairie Maintenance General Plant	13,548	19,054	13,178	13,177	2,272	2,688	1,261	14,775
=	610842110	Full - time meter reading labor	2,609	4,056	4,632	4,632	2,123	0	617	7,408
=	610842111	Part - time salaries	479	293	185	185	0	0	0	0
=	610842112	Overtime salaries	175	159	0	0	0	0	0	0
=	610842151	Social security	249	339	369	369	160	0	47	567
=	610842152	Wisconsin retirement	263	256	320	320	141	0	43	519
=	610842153	Workers compensation	127	130	186	186	76	0	25	295
=	610842154	Health & life benefits	794	1,173	1,450	1,450	789	0	193	2,318
	610842905	Internal Service Fund	4,171	5,961	8,500	8,500	1,865	1,877	712	8,500
	CYESTS842	Current Year Estimated Salaries & Benefits	0	0	0	0	0	3,346	0	0
=	LM842	Pleasant Prairie Meter Reading	8,866	12,368	15,642	15,642	5,154	5,223	1,638	19,606
=	610850110	Salaries	28,520	29,984	28,014	28,014	10,286	0	3,119	37,424
=	610850111	Part - time salaries	0	4,715	4,832	4,832	4,105	0	960	11,525
=	610850112	Overtime salaries	0	0	0	0	0	0	0	0



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=	610850151	Social security	2,161	2,623	2,513	2,513	1,073	0	312	3,745
=	610850152	Wisconsin retirement	4,130	2,738	2,184	2,184	1,225	0	286	3,426
=	610850153	Worker's compensation	525	583	618	618	481	0	94	1,122
=	610850154	Health & life benefits	8,508	8,274	8,008	8,008	5,436	0	794	9,526
=	610850158	Long - term disability insurance	0	0	55	55	0	0	9	113
	610850159	Retiree Medical Benefits	4,545	3,026	6,351	6,351	5,181	5,226	532	6,351
+	610850199	Personnel Transfers	178,849	183,061	189,223	189,223	152,539	183,386	16,581	198,774
	610850200	Temporary help	0	0	0	0	0	0	0	0
	610850201	Unemployment	3,478	2,959	1,838	1,838	1,533	1,838	102	1,180
	610850260	Travel/Mileage reimbursement	8	133	370	370	0	0	30	250
	610850261	Conference/meeting related expenses	279	0	280	280	100	100	27	280
+	610850262	Conferences/seminars/training	679	0	3,000	3,000	1,285	1,379	261	3,000
	610850399	Miscellaneous expense	0	0	0	0	213	213	24	200
	CYESTS850	Current Year Estimated Salaries & Benefits	0	0	0	0	66,388	0	0	0
=	LM850	Pleasant Prairie Administration & General Salaries	231,682	238,095	247,287	247,286	183,458	258,530	23,130	276,916
	610851206	Contractual printing	1,398	838	1,600	1,600	746	1,246	137	1,600
	610851216	Legislative Services	758	1,899	750	750	779	1,383	68	750
	610851232	Facility lease	17,718	17,718	17,718	17,718	0	17,718	1,482	17,718
	610851241	Software maintenance agreemts	1,243	1,374	1,500	1,500	1,143	1,143	125	1,500
	610851262	Conferences/seminars/training	69	0	0	0	0	0	0	0
	610851310	Office supplies	195	535	250	250	255	255	30	250
	610851311	Copying/Printing	1,568	1,407	1,650	1,650	944	1,650	143	1,650
+	610851312	Postage	11,693	11,825	12,300	12,300	8,891	12,300	1,036	12,300
	610851350	Minor equipment/tool replacemt	1,268	0	500	500	0	0	49	500
	610851399	Miscellaneous expense	0	0	0	0	44	44	6	50
=	LM851	Pleasant Prairie Office Supplies and Expense	35,909	35,596	36,268	36,268	12,801	35,739	3,076	36,318
+	610852210	Attorney fees	0	2,735	2,000	2,000	9,070	9,145	174	2,000
+	610852211	Accounting & auditing fees	7,177	0	0	0	0	0	0	0
	610852212	Engineering services	9,248	0	1,500	1,500	0	0	125	1,500
+	610852214	Consultant/contractual service	23,153	26,708	49,650	49,650	20,754	29,296	2,491	29,650
=	LM852	Pleasant Prairie Outside Services Employed	39,577	29,443	53,150	53,150	29,824	38,441	2,790	33,150
+	610853510	Property & liability insurance	8,693	9,531	9,575	9,575	9,878	10,970	10,225	10,225
=	LM853	Pleasant Prairie Insurance Expense	8,693	9,531	9,575	9,575	9,878	10,970	10,225	10,225
	610856262	Conferences/seminars/training	0	0	0	0	0	0	0	0
+	610856300	Memberships & subscriptions	4,418	259	870	870	731	731	78	870
	610856515	Return net investment meteres	5,857	5,673	5,800	5,800	0	5,800	487	5,800
=	LM856	Pleasant Prairie Miscellaneous General Expense	10,275	5,932	6,670	6,670	731	6,531	565	6,670
+	610856901	Non personnel transfers	75,000	75,000	99,453	99,453	82,852	99,423	6,924	83,000
+	610856990	New program requests	0	0	0	0	0	0	(3,238)	(38,812)
=	610856991	New program request - Personnel	0	0	0	0	0	0	5,008	60,100
	610856994	Program Reduction	0	0	0	0	0	0	0	0

		ACTUAL 2011	ACTUAL 2012	H4Y201312	AMEND 2013	ACTUAL 2013	EST2013	DEPT2014	DEPTREQ14	
	ACCOUNT	Label	Actuals 2011	Actuals 2012	Original Budget 2013	Amended Budget 2013	Actuals 2013	Estimate 2013	Non HR Request	Total Department Request
=	LMOPEXP	Pleasant Prairie Total Operating Expense	4,477,136	4,263,673	4,530,325	4,530,323	2,373,333	4,461,233	2,054,862	4,516,173
		LAKE MICHIGAN (D) OPERATING EXPENSES								
=	D820	Lake Michigan (D) Operation - supervision & labor	0	0	0	0	0	0	0	0
=	D821	Lake Michigan (D) Power / fuel for pumping	0	0	0	0	0	0	0	0
=	D823	Lake Michigan (D) D Chlorine	0	0	0	0	0	0	0	0
=	D826	Lake Michigan (D) Other Chemicals - Sewage Treatment	0	0	0	0	0	0	0	0
	630827293	Unmetered Residential Trmt	23,045	19,146	23,000	23,000	15,981	23,000	23,000	23,000
=	D827	Lake Michigan (D) Other Operating Supplies	23,045	19,146	23,000	23,000	15,981	23,000	23,000	23,000
=	D828	Lake Michigan (D) Transportation Expenses	0	0	0	0	0	0	0	0
=	630831110	Salaries	0	287	0	0	0	0	0	0
=	630831111	Part - time wages	0	140	0	0	0	0	0	0
=	630831112	Overtime salaries	0	0	0	0	0	0	0	0
=	630831151	Social security	0	32	0	0	0	0	0	0
=	630831152	Wisconsin retirement	0	20	0	0	0	0	0	0
=	630831153	Worker's compensation	0	16	0	0	0	0	0	0
=	630831154	Health & life benefits	0	95	0	0	0	0	0	0
+	630831214	Consultant/contractual service	0	1,600	0	0	0	0	0	0
	630831905	Fleet Internal Service Fund	0	801	0	0	0	0	0	0
	CYESTD831	Current Year Estimated Salaries & Benefits	0	0	0	0	0	0	0	0
=	D831	Lake Michigan (D) Maintenance Collection System	0	2,992	0	0	0	0	0	0
=	D832	Lake Michigan (D) Maintenance System Pumping Equip	0	0	0	0	0	0	0	0
=	D833	Lake Michigan (D) Maintenance Disposal Plant Equipment	0	0	0	0	0	0	0	0
=	D834	Lake Michigan (D) Maintenance General Plant	0	0	0	0	0	0	0	0
=	D842	Lake Michigan (D) Meter Reading	0	0	0	0	0	0	0	0
=	630850110	Salaries	1,864	0	0	0	0	0	0	0
=	630850111	Part - time salaries	0	0	0	0	0	0	0	0
=	630850112	Overtime salaries	0	0	0	0	0	0	0	0
=	630850151	Social security	141	0	0	0	0	0	0	0
=	630850152	Wisconsin retirement	172	0	0	0	0	0	0	0
=	630850153	Worker's compensation	37	0	0	0	0	0	0	0
=	630850154	Health & life benefits	608	0	0	0	0	0	0	0
=	630850158	Long - term disability insurance	0	0	0	0	0	0	0	0
	630850159	Retiree Medical Benefits	301	201	421	421	289	346	36	421

		ACTUAL 2011	ACTUAL 2012	H4Y201312	AMEND 2013	ACTUAL 2013	EST2013	DEPT2014	DEPTREQ14	
	ACCOUNT	Label	Actuals 2011	Actuals 2012	Original Budget 2013	Amended Budget 2013	Actuals 2013	Estimate 2013	Non HR Request	Total Department Request
	630850191	Training & seminars	0	0	0	0	0	0	0	0
+	630850199	Personnel Transfers	17,033	17,434	18,021	18,021	14,463	17,321	1,605	18,930
	630850200	Temporary help	0	0	0	0	0	0	0	0
	630850201	Unemployment	138	26	0	0	0	0	0	0
	CYESTD850	Current Year Estimated Salaries & Benefits	0	0	0	0	0	0	0	0
=	D850	Lake Michigan (D) Administrative & General Salaries	20,295	17,661	18,442	18,442	14,751	17,667	1,641	19,351
=	D851	Lake Michigan (D) Office Supplies & Expenses	0	0	0	0	0	0	0	0
=	D852	Lake Michigan (D) Outside Services Employed	0	0	0	0	0	0	0	0
=	D853	Lake Michigan (D) Insurance	0	0	0	0	0	0	0	0
=	D856	Lake Michigan (D) Miscellaneous General Expense	0	0	0	0	0	0	0	0
=	DOPEXP	Lake Michigan( D) Total Operating Expense	43,339	39,799	41,442	41,442	30,733	40,667	24,641	42,351
		<b>OPERATING GAIN (LOSS)</b>								
=	LMOPLLOSS	Pleasant Prairie Operating Gain (Loss)	(22,341)	160,423	(71,504)	(71,502)	1,385,474	116,262	2,144,026	63,117
=	DOPLOSS	Lake Michigan (D) Operating Gain (Loss)	14,876	23,709	22,558	22,558	22,306	22,980	39,359	21,649
=	TOTOPLOSS	Total Operating Gain (Loss)	(7,465)	184,131	(48,946)	(48,944)	1,407,780	139,242	2,183,385	84,766
		<b>NON-OPERATING REVENUES</b>								
+	481103000	Gain/Loss on Sale	0	0	0	0	(69,134)	(69,134)	0	0
	484190000	Interest on Investments	21,763	21,003	20,000	20,000	1,851	15,000	1,250	15,000
	484191000	Interest on Special Investments	10,898	6,499	9,472	9,472	0	4,775	387	4,523
	484192000	Interest Income - late payments	41,398	42,595	40,000	40,000	19,970	37,137	3,337	40,000
	484195000	Amortization of bond premium	56,264	52,476	49,205	49,205	0	49,205	4,109	49,297
=	TOTINT	Total Non Operating Revenue	130,323	122,573	118,677	118,677	(47,313)	36,983	9,083	108,820
		<b>Non-Operating Expenses</b>								
!	960427605	Amortization of issuance expense	24,111	22,437	18,520	18,520	0	0	0	0
	960427620	Interest on long term debt	361,183	331,402	306,037	306,037	204,327	306,037	19,491	233,793
	960427621	Capitalized Interest	(180)	(2,600)	0	0	0	0	0	0
	960427622	Interest on lease	0	0	0	0	0	0	0	0
=	LMNONOP	Total Non Operating Expenses	(385,114)	(351,239)	(324,557)	(324,557)	(204,327)	(306,037)	(19,491)	(233,793)
=	LOSSBCONT	Gain (Loss) Before Contributions	(262,256)	(44,535)	(254,826)	(254,824)	1,156,141	(129,812)	2,172,978	(40,207)
	492001000	Capital Contribution -Municipal	1,096,472	3,852	0	0	0	0	0	0
	492421000	Capital Contributions	299,171	258,579	50,000	50,000	0	1,050,600	0	0
	AUDIT1	Audit Adjustment	0	0	0	0	0	0	0	0
	TRANSFER	Transfer Out to ISF	0	0	0	0	0	0	0	0
=	NACHANGE	Change in Net Assets	1,133,386	217,897	(204,826)	(204,824)	1,156,141	920,788	2,172,978	(40,207)

		ACTUAL 2011	ACTUAL 2012	H4Y201312	AMEND 2013	ACTUAL 2013	EST2013	DEPT2014	DEPTREQ14	
ACCOUNT	Label	Actuals 2011	Actuals 2012	Original Budget 2013	Amended Budget 2013	Actuals 2013	Estimate 2013	Non HR Request	Total Department Request	
	<b>Salaries &amp; Benefits Summary</b>									
=	SSALARIES	Salaries	275,862	266,675	270,836	270,836	194,384	0	23,169	278,011
=	SPTSALARIES	Part-Time Salaries	21,414	22,086	29,466	29,466	24,918	0	2,950	35,403
=	SOSALARIES	Overtime Salaries	13,118	6,964	9,352	9,352	10,548	0	786	9,434
=	STSALARIES	Total Salaries	310,394	295,726	309,654	309,654	229,850	0	26,906	322,849
=	TOT199	Total Personnel Transfers 199	195,882	200,496	207,244	207,244	167,002	200,707	18,186	217,704
=	ADJSALARIES	Salaries - including 199	506,276	496,221	516,898	516,898	396,852	200,707	45,092	540,553
=	SSSSALARIES	Social Security	23,846	22,472	23,689	23,690	17,145	0	2,058	24,698
=	SRSALARIES	Retirement	24,809	17,266	20,592	20,591	14,376	0	1,883	22,599
=	SWCSALARIES	Workers Comp	11,685	9,510	11,565	11,564	9,437	0	999	11,993
=	SHLSALARIES	Health & Life	77,011	75,184	75,594	75,593	68,665	0	6,574	78,889
=	RMSALARIES	Retiree Medical Benefits	16,279	10,840	22,669	22,669	16,747	19,040	1,912	22,669
=	SLTDSALARIES	Long Term Disability	8	4	67	67	3	0	10	125
=	STBENEFITS	Total Benefits	153,638	135,275	154,176	154,174	126,373	19,040	13,438	160,974
=	TCYESTSB	Total Current Year Estimate Salaries & Benefits	0	0	0	0	0	424,291	0	0
=	TOTSLBEN	Total Salaries & Benefits	464,032	431,001	671,074	671,072	523,225	644,038	58,530	701,527
	<b>Percent of Labor Dollars</b>									
=	PSSS	Percent Social Security	8	8	92	8	7	0	8	8
=	PSRETIREMENT	Percent Retirement	8	6	80	7	6	0	7	7
=	PSWORKERCOMP	Percent Workers Comp	4	3	45	4	4	0	4	4
=	PSHEALTH	Percent Health & Life	25	25	293	24	30	0	24	24
=	PSTOTAL	Total Percentage	44	42	509	42	48	0	43	43

		ACTUAL 2011	ACTUAL 2012	H4Y201312	AMEND 2013	ACTUAL 2013	EST2013	DEPT2014	DEPTREQ14	
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		<b>SEWER OPERATING REVENUES</b>								
		<b>PLEASANT PRAIRIE (LM) OPERATING REVENUE</b>								
+	426211000	Residential flat rate revenues	2,434,816	2,559,450	2,552,781	2,552,781	2,098,862	2,512,743	2,524,000	2,524,000
	1	Q1	0	0	648,064	0	2,098,862	632,315	631,000	631,000
	2	Q2	0	0	638,781	0	0	630,515	631,000	631,000
	3	Q3	0	0	652,675	0	0	630,595	631,000	631,000
	4	Q4	0	0	613,261	0	0	619,318	631,000	631,000
	5	new construction	0	0	0	0	0	0	0	0
	*	Amount missing from detail	2,434,816	2,559,450	0	2,552,781	0	0	0	0
+	426212000	Commercial revenues	793,666	798,633	791,750	791,750	694,862	831,262	635,924	833,000
	1	Q1	0	0	189,261	0	694,862	184,308	185,000	185,000
	2	Q2	0	0	214,743	0	0	223,863	224,000	224,000
	3	Q3	0	0	192,662	0	0	208,744	209,000	209,000
	4	Q4	0	0	195,084	0	0	214,347	17,924	215,000
	5	New Construction	0	0	0	0	0	0	0	0
	*	Amount missing from detail	793,666	798,633	0	791,750	(0)	0	0	0
+	426213000	Industrial revenues	732,594	595,457	669,000	669,000	551,918	693,240	501,674	685,000
	1	Q1	0	0	163,000	0	551,918	159,657	160,000	160,000
	2	Q2	0	0	163,000	0	0	158,315	160,000	160,000
	3	Q3	0	0	180,000	0	0	165,400	165,000	165,000
	4	Q4	0	0	163,000	0	0	209,868	16,674	200,000
	5	Uline Refund	0	0	0	0	0	0	0	0
	*	Amount missing from detail	732,594	595,457	0	669,000	0	0	0	0
+	426214000	Public authority revenues	63,249	59,164	58,000	58,000	44,942	52,800	54,000	54,000
	1	Q1	0	0	14,500	0	44,942	11,689	12,000	12,000
	2	Q2	0	0	14,000	0	0	13,297	13,000	13,000
	3	Q3	0	0	15,500	0	0	14,705	15,000	15,000
	4	Q4	0	0	14,000	0	0	13,109	14,000	14,000
	*	Amount missing from detail	63,249	59,164	0	58,000	0	0	0	0
+	426350000	Misc. Operating revenue - Pleasant Prairie	1,799	1,273	1,000	1,000	5,000	5,000	1,000	1,000
	1	Sale of Scrap Metal - Sewer D	0	0	0	0	5,000	0	0	0
	2	Sale of lab equipment to CT Lab	0	0	1,000	0	0	5,000	0	0
	3	Other	0	0	0	0	0	0	1,000	1,000
	*	Amount missing from detail	1,799	1,273	0	1,000	0	0	0	0
+	466215000	Industrial Surcharge	426,555	403,828	380,000	380,000	357,981	476,160	476,000	476,000
	1	1st Qtr	0	0	95,000	0	357,981	0	119,000	119,000
	2	2nd Qtr	0	0	95,000	0	0	0	119,000	119,000
	3	3rd Qtr	0	0	95,000	0	0	0	119,000	119,000
	4	4th Qtr	0	0	95,000	0	0	0	119,000	119,000
	5	Jan- Nov Billed	0	0	0	0	0	429,776	0	0
	6	Dec	0	0	0	0	0	46,384	0	0
	7	Line Item 7	0	0	0	0	0	0	0	0
	*	Amount missing from detail	426,555	403,828	0	380,000	0	0	0	0
+	466216000	Residential Surcharge	2,117	6,290	6,290	6,290	5,242	6,290	6,290	6,290
	1	Monthly Charges	0	0	6,290	0	5,242	6,290	6,290	6,290
	2	Refund Overpayment	0	0	0	0	0	0	0	0
	*	Amount missing from detail	2,117	6,290	0	6,290	0	0	0	0
=	<b>LMSALES</b>	<b>Pleasant Prairie Sales</b>	<b>4,454,795</b>	<b>4,424,096</b>	<b>4,458,821</b>	<b>4,458,821</b>	<b>3,758,807</b>	<b>4,577,495</b>	<b>4,198,888</b>	<b>4,579,290</b>

		ACTUAL 2011	ACTUAL 2012	H4Y201312	AMEND 2013	ACTUAL 2013	EST2013	DEPT2014	DEPTREQ14	
	ACCOUNT	Label	Actuals 2011	Actuals 2012	Original Budget 2013	Amended Budget 2013	Actuals 2013	Estimate 2013	Non HR Request	Total Department Request
=	LMOPREV	Pleasant Prairie Total Operating Revenue	4,454,795	4,424,096	4,458,821	4,458,821	3,758,807	4,577,495	4,198,888	4,579,290
		LAKE MICHIGAN (D) OPERATING REVENUE								
	446211000	Residential flat rate revenues	58,215	63,507	64,000	64,000	53,039	63,647	64,000	64,000
=	DSALES	Lake Michigan ( D) Sales	58,215	63,507	64,000	64,000	53,039	63,647	64,000	64,000
		Lake Michigan (D) Total Operating Revenue	58,215	63,507	64,000	64,000	53,039	63,647	64,000	64,000
=	TOTOPREV	Total Operating Revenue	4,513,010	4,487,603	4,522,821	4,522,821	3,811,846	4,641,142	4,262,888	4,643,290
		SEWER OPERATING EXPENSES								
		PLEASANT PRAIRIE OPERATING EXPENSES								
	610403600	Depreciation expense	1,435,629	1,453,562	1,435,629	1,435,629	0	1,435,629	121,250	1,455,000
=	LM403	Pleasant Prairie Depreciation	1,435,629	1,453,562	1,435,629	1,435,629	0	1,435,629	121,250	1,455,000
	610408500	Utility tax equivalent	9,460	10,386	9,460	9,460	0	10,386	871	10,386
=	LM408	Pleasant Prairie Utility Tax Equivalent	9,460	10,386	9,460	9,460	0	10,386	871	10,386
=	610820110	Salaries	99,558	85,114	71,444	71,444	54,569	0	4,210	50,522
	610820111	Part time Salaries	137	700	0	0	121	0	0	0
=	610820112	Overtime salaries	1,691	417	500	500	0	0	42	500
=	610820151	Social security	7,688	6,542	5,504	5,504	4,575	0	325	3,903
=	610820152	Wisconsin retirement	7,088	4,540	4,784	4,784	3,651	0	298	3,572
=	610820153	Worker's compensation	3,921	3,028	3,068	3,068	2,388	0	169	2,031
=	610820154	Health & life benefits	22,412	21,161	15,551	15,551	14,813	0	935	11,222
	610820158	Long - term disability insurance	0	0	0	0	0	0	0	0
	610820159	Retiree Medical Benefits	2,450	1,631	3,344	3,344	2,347	2,817	286	3,344
	610820199	Personnel Transfers	0	0	0	0	0	0	0	0
	610820202	Employment Evaluations (Written Exams)	766	778	730	730	1,462	1,462	86	1,010
	610820210	Attorney fees	0	0	0	0	0	0	0	0
	610820214	Consultant/contractual service	0	0	0	0	30	30	0	0
	610820260	Travel/Mileage Reimbursement	85	1,787	1,757	1,757	1,074	1,074	150	1,800
	610820261	Conference/Meeting related expenses	399	1,426	1,426	1,426	2,097	2,097	175	2,100
+	610820262	Conferences/seminars/training	5,706	1,770	2,560	2,560	4,339	4,339	217	2,560
	1	UW - Extension	0	0	0	0	0	0	0	0
	2	Reimburse portion of Tuition	0	0	0	0	0	0	0	0
	3	Other	0	0	2,560	0	0	4,339	217	2,560
	*	Amount missing from detail	5,706	1,770	0	2,560	4,339	0	0	0
	610820277	Sludge removal contractor	495	0	0	0	0	0	0	0
	610820350	Minor equipment/tool replacemt	0	0	0	0	0	0	0	0
	610820905	Internal Service Fund	8,835	5,520	8,800	8,800	358	801	87	1,000
	CYESTS820	Current Year Estimated Salaries & Benefits	0	0	0	0	0	94,690	0	0
=	LM820	Pleasant Prairie Operation - supervision & labor	161,231	134,416	119,468	119,468	91,824	107,310	6,980	83,563
	610821220	Electric	82,398	62,286	74,000	74,000	50,878	60,656	5,424	65,000
	610821221	Gas	6,018	2,365	7,000	7,000	1,761	2,175	250	3,000
=	LM821	Pleasant Prairie Power / fuel for pumping	88,416	64,651	81,000	81,000	52,639	62,831	5,674	68,000

			ACTUAL 2011	ACTUAL 2012	H4Y201312	AMEND 2013	ACTUAL 2013	EST2013	DEPT2014	DEPTREQ14
	ACCOUNT	Label	Actuals 2011	Actuals 2012	Original Budget 2013	Amended Budget 2013	Actuals 2013	Estimate 2013	Non HR Request	Total Department Request
+	610826356	Chemicals	13,428	14,676	14,000	14,000	9,927	9,927	1,174	14,000
	1	Enzymes	0	0	14,000	0	0	9,927	1,174	14,000
	2	Other	0	0	0	0	0	0	0	0
	*	Amount missing from detail	13,428	14,676	0	14,000	9,927	0	0	0
=	LM826	Pleasant Prairie Other Chemicals - Sewage Treatment	13,428	14,676	14,000	14,000	9,927	9,927	1,174	14,000
	610827223	Municipal Water	2,392	3,606	3,600	3,600	1,744	2,544	300	3,600
	610827224	Telephone service	1,003	816	900	900	726	792	75	900
	610827225	Cellular telephone	1,624	1,742	1,800	1,800	1,250	1,800	150	1,800
	610827226	Data/voice communications	0	0	0	0	0	0	0	0
	610827228	Garbage/Recycling	900	900	900	900	685	900	75	900
	610827229	Clean Water	3,395	3,222	3,395	3,395	2,424	3,260	287	3,400
	610827242	Contracted Equipment Maintenance	256	0	0	0	0	0	0	0
	610827292	Commercial sewer treatment	23,228	17,679	23,000	23,000	14,886	18,200	18,500	18,500
	610827293	Unmetered residential treatmt	284,237	237,192	300,000	300,000	196,813	250,000	300,000	300,000
+	610827294	Metered wastewater treatment	1,496,593	1,452,903	1,502,000	1,502,000	1,265,263	1,615,000	1,502,000	1,502,000
	1	Sampling	0	0	27,000	0	0	27,000	27,000	27,000
	2	Treatment	0	0	1,475,000	0	0	1,450,000	1,475,000	1,475,000
	3	Line Item 3	0	0	0	0	0	138,000	0	0
	*	Amount missing from detail	1,496,593	1,452,903	0	1,502,000	1,265,263	0	0	0
+	610827335	Lab supplies	4,229	0	0	0	0	0	0	0
	1	Original Amount	0	0	0	0	0	0	0	0
	2	Move to Acct #6010831-356	0	0	0	0	0	0	0	0
	*	Amount missing from detail	4,229	0	0	0	0	0	0	0
	610827352	Uniform services & uniforms	411	978	1,000	1,000	274	400	87	1,000
	610827353	Safety equipment	1,205	1,958	1,700	1,700	1,501	2,197	149	1,700
	610827355	Janitorial/cleaning supplies	0	0	0	0	0	0	0	0
	610827399	Miscellaneous expense	99	16	100	100	0	0	12	100
	610827592	Dnr discharge permit	9,770	9,770	9,770	9,770	9,770	9,770	816	9,770
=	LM827	Pleasant Prairie Other Operating Supplies	1,829,341	1,730,782	1,848,165	1,848,165	1,495,336	1,904,863	1,822,451	1,843,670
	610831110	Salaries	88,953	87,743	94,281	94,281	63,095	0	8,622	103,448
	610831111	Part - time salaries	11,611	9,820	16,297	16,297	10,307	0	1,284	15,409
	610831112	Overtime salaries	6,341	3,268	5,000	5,000	6,239	0	417	5,000
	610831151	Social security	8,410	7,627	8,842	8,842	5,701	0	790	9,475
	610831152	Wisconsin retirement	8,397	5,710	7,686	7,686	4,552	0	723	8,670
	610831153	Worker's compensation	4,299	3,610	4,432	4,432	3,723	0	408	4,899
	610831154	Health & life benefits	28,024	25,941	29,170	29,170	25,000	0	2,674	32,085
	610831158	Long - term disability insurance	8	4	12	12	3	0	1	12
	610831159	Retiree Medical Benefits	6,397	4,260	8,939	8,939	6,452	7,678	755	8,939
	610831205	Publication of notices agendas	229	0	300	300	166	166	25	300
	610831212	Engineering services	0	0	500	500	0	0	49	500
+	610831214	Consultant/contractual service	40,683	14,707	31,000	31,000	4,075	10,818	2,598	31,000
	1	Repair Manholes - Concrete Specialities	0	0	10,000	0	0	0	837	10,000
	2	Industrial Sampling	0	0	15,000	0	0	0	1,250	15,000
	3	Sewer Meter Calibration - Gregg Martin	0	0	4,000	0	0	4,075	337	4,000

		ACTUAL 2011	ACTUAL 2012	H4Y201312	AMEND 2013	ACTUAL 2013	EST2013	DEPT2014	DEPTREQ14
ACCOUNT	Label	Actuals 2011	Actuals 2012	Original Budget 2013	Amended Budget 2013	Actuals 2013	Estimate 2013	Non HR Request	Total Department Request
4	CT Lab - Water Sampling	0	0	0	0	0	6,303	0	0
5	Flow Meter Calibration - Emergences	0	0	0	0	0	0	0	0
6	Other	0	0	2,000	0	0	440	174	2,000
*	Amount missing from detail	40,683	14,707	0	31,000	4,075	0	0	0
610831220	Electric	1,896	1,513	2,100	2,100	1,567	1,872	175	2,100
610831242	Contracted equipment maintenance	0	2,006	1,800	1,800	147	147	150	1,800
+ 610831350	Minor equipment/tool replacemt	0	1,696	0	0	793	3,628	0	0
1	Ice Maker	0	0	0	0	0	793	0	0
2	Porable Sampler	0	0	0	0	0	2,835	0	0
*	Amount missing from detail	0	1,696	0	0	793	0	0	0
610831352	Uniforms & uniform service	0	0	0	0	0	0	0	0
+ 610831356	Chemicals	219	2,890	2,500	2,500	387	400	212	2,500
1	Original Amounts	0	0	0	0	0	400	0	0
2	Moved from 610827-335 Lab Supplies	0	0	2,500	0	0	0	212	2,500
*	Amount missing from detail	219	2,890	0	2,500	387	0	0	0
+ 610831362	Equipment maintenance supplies	13,521	13,409	9,000	9,000	8,782	12,242	750	9,000
1	Ice Machine for Industrial Sampling	0	0	0	0	0	0	0	0
2	Sample Flume	0	0	0	0	0	0	0	0
3	Stone - Cretex Materials	0	0	0	0	0	0	0	0
4	Concrete Specialities - Materials	0	0	0	0	0	0	0	0
5	Payne & Dolan	0	0	0	0	0	0	0	0
6	HD Supply Waterworks LTD	0	0	0	0	0	0	0	0
7	Ken -Crete Production -	0	0	0	0	0	0	0	0
8	Other	0	0	9,000	0	0	12,242	750	9,000
*	Amount missing from detail	13,521	13,409	0	9,000	8,782	0	0	0
601831364	Building maintenance supplies	0	0	0	0	0	0	0	0
610831370	Landscaping supplies	65	373	350	350	1,152	1,152	125	1,500
610831390	Grant - 85th Street	0	0	0	0	0	0	0	0
610831399	Misc. Expense	276	93	600	600	0	45	50	600
+ 610831800	Construction Materials	16,185	1,713	10,000	10,000	0	0	174	2,000
1	Temp Panel - Sewer D - Statewide Fencing Inc	0	0	0	0	0	0	0	0
2	Concrete Specialities - Materials	0	0	0	0	0	0	0	0
3	Cretex Materials	0	0	0	0	0	0	0	0
4	Other	0	0	10,000	0	0	0	174	2,000
*	Amount missing from detail	16,185	1,713	0	10,000	0	0	0	0
610831821	Construction - contractor	0	0	0	0	0	0	0	0
610831905	Internal Service Fund	92,563	83,484	105,979	105,979	78,219	84,628	7,087	85,000
CYESTS831	Current Year Estimated Salaries & Benefits	0	0	0	0	0	134,000	0	0
= LM831	Pleasant Prairie Maintenance Collection System	328,075	269,867	338,788	338,788	220,359	256,776	27,069	324,237
= 610832110	Salaries	52,374	54,828	70,737	70,737	64,482	0	6,460	77,516
= 610832111	Part - time salaries	8,303	6,112	5,836	5,836	10,506	0	505	6,063
= 610832112	Overtime salaries	4,911	3,120	3,852	3,852	4,309	0	328	3,934
= 610832151	Social security	4,969	4,880	6,153	6,153	5,649	0	558	6,695
= 610832152	Wisconsin retirement	4,570	3,661	5,348	5,348	4,819	0	510	6,126
= 610832153	Worker's compensation	2,659	1,953	3,104	3,104	2,762	0	290	3,483
= 610832154	Health & life benefits	16,223	17,919	20,663	20,663	22,571	0	1,916	22,990
610832158	Long - term disability insurance	0	0	0	0	0	0	0	0
610832159	Retiree Medical Benefits	2,586	1,722	3,614	3,614	2,478	2,973	303	3,614



		ACTUAL 2011	ACTUAL 2012	H4Y201312	AMEND 2013	ACTUAL 2013	EST2013	DEPT2014	DEPTREQ14	
ACCOUNT	Label	Actuals 2011	Actuals 2012	Original Budget 2013	Amended Budget 2013	Actuals 2013	Estimate 2013	Non HR Request	Total Department Request	
	610832199	Personnel Transfers	0	0	0	0	0	0	0	
+	610832214	Consultant/contractual service	26,055	7,888	10,000	10,000	927	2,907	848	10,000
	1	Adjust to Reflect Actuals	0	0	4,400	0	0	0	0	
	2	Scada	0	0	0	0	912	0	0	
	3	Other	0	0	0	0	15	137	1,600	
	4	Coverall Service Charges	0	0	1,200	0	0	0	0	
	5	Sewer Repair on ML	0	0	0	0	1,980	0	0	
	6	ITT Flygt Crop	0	0	0	0	0	337	4,000	
	7	Energences - Lakeview Lift St	0	0	0	0	0	0	0	
	8	Contracted Lift Station repair	0	0	4,400	0	0	374	4,400	
	*	Amount missing from detail	26,055	7,888	0	10,000	927	0	0	
	610832224	Telephone service	6,401	5,028	5,512	5,512	4,466	4,872	463	5,512
	610832226	Data/voice communication	0	0	0	0	0	0	0	
	610832230	Equipment rental	0	0	0	0	0	0	0	
+	610832242	Contracted equipment maintenance	4,839	7,820	8,000	8,000	1,180	18,619	674	8,000
	1	Pump Inspections	0	0	5,000	0	0	4,194	424	5,000
	2	Generator Radiator Repair	0	0	1,200	0	0	0	0	
	3	Other	0	0	1,800	0	0	0	250	3,000
	4	Repair Transfer Switch	0	0	0	0	0	14,425	0	
	*	Amount missing from detail	4,839	7,820	0	8,000	1,180	0	0	
+	610832350	Minor equipment/tool replacem	292	0	0	0	2,657	2,657	0	0
	1	40 Feet CBL Floats	0	0	0	0	0	2,657	0	
	*	Amount missing from detail	292	0	0	0	2,657	0	0	
+	610832362	Equipment maintenance supplies	12,592	11,030	20,000	20,000	11,523	15,000	1,674	20,000
	1	Transfer Switch Replacement / Chateau Lift	0	0	0	0	0	0	0	
	2	Impeller	0	0	1,200	0	0	0	0	
	3	Parts to maintain/Repair Lift Stations	0	0	18,800	0	0	15,000	1,674	20,000
	*	Amount missing from detail	12,592	11,030	0	20,000	11,523	0	0	
	610832364	Building maintenance supplies	0	0	0	0	0	0	0	
	610832399	Miscellaneous expense	282	37	100	100	0	0	12	100
	610832821	Construction - contractor	0	0	0	0	0	0	0	
+	610832905	Internal Service Fund	35,953	32,120	36,894	36,894	35,822	41,560	3,224	38,556
	1	Parks Mowing Allocation	0	0	0	0	0	0	137	1,556
	2	Line Item 2	0	0	0	0	0	41,560	3,087	37,000
	*	Amount missing from detail	35,953	32,120	36,894	36,894	35,822	0	0	
	CYESTS832	Current Year Estimated Salaries & Benefits	0	0	0	0	0	126,000	0	0
=	LM832	Pleasant Prairie Maintenance Pumping Equipment	183,009	158,117	199,813	199,813	174,152	214,588	17,765	212,589
=	610833110	Salaries	885	0	0	0	0	0	0	0
=	610833111	Part - time salaries	23	0	0	0	0	0	0	0
=	610833112	Overtime salaries	0	0	0	0	0	0	0	0
=	610833151	Social security	68	0	0	0	0	0	0	0
=	610833152	Wisconsin retirement	99	0	0	0	0	0	0	0
=	610833153	Workers compensation	39	0	0	0	0	0	0	0
=	610833154	Health & life benefits	284	0	0	0	0	0	0	0
	610833158	Long - term disability insurance	0	0	0	0	0	0	0	0
	610833159	Retiree medical benefits	36	45	79	79	65	79	13	79
	610833214	Consultant/contractual service	95	0	0	0	0	0	0	0
	610833221	Natural gas	1,389	808	1,500	1,500	811	1,049	125	1,500

		ACTUAL 2011	ACTUAL 2012	H4Y201312	AMEND 2013	ACTUAL 2013	EST2013	DEPT2014	DEPTREQ14
ACCOUNT	Label	Actuals 2011	Actuals 2012	Original Budget 2013	Amended Budget 2013	Actuals 2013	Estimate 2013	Non HR Request	Total Department Request
610833224	Telephone services	491	0	0	0	0	0	0	0
610833242	Contracted equipment maintenance	105	785	100	100	0	0	12	100
610833244	Contracted building maintenance	350	0	500	500	0	0	49	500
610833350	Minor equipment/tool replacem	0	0	0	0	0	0	0	0
610833362	Equipment maintenance supplies	0	0	0	0	250	250	0	0
610833364	Building maintenance supplies	0	558	600	600	0	0	50	600
610833905	Internal Service Fund	1,134	0	0	0	0	0	0	0
CYESTS833	Current Year Estimated Salaries & Benefits	0	0	0	0	0	0	0	0
= LM833	Pleasant Prairie Maintenance Disposal Plant Equipm	4,997	2,197	2,779	2,779	1,126	1,378	249	2,779
= 610834110	Salaries	1,099	4,663	1,728	1,728	(171)	0	141	1,693
= 610834111	Part - time salaries	999	1,007	2,316	2,316	0	0	201	2,406
= 610834112	Overtime salaries	0	0	0	0	0	0	0	0
= 610834151	Social security	160	428	309	309	(13)	0	26	314
= 610834152	Wisconsin retirement	91	340	269	269	(11)	0	24	287
= 610834153	Workers compensation	77	190	156	156	7	0	14	163
= 610834154	Health & life benefits	159	620	751	751	56	0	62	749
610834159	Retiree Medical Benefits	2,110	1,405	2,948	2,948	2,021	2,426	253	2,948
610834199	Personnel Transfers	0	0	0	0	0	0	0	0
610834242	Contracted equipment maintenance	0	0	0	0	0	0	0	0
610834244	Contracted building maintenance	1,574	0	500	500	0	0	49	500
610834362	Equipment maintenance supplies	0	9	200	200	0	0	24	200
610834364	Building maintenance supplies	5,746	85	1,000	1,000	0	11	87	1,000
+ 610834905	Internal Service Fund	1,534	10,307	3,000	3,000	384	384	380	4,516
1	Parks Mowing Allocation	0	0	0	0	0	0	130	1,516
2	Line Item 2	0	0	0	0	0	384	250	3,000
*	Amount missing from detail	1,534	10,307	3,000	3,000	384	0	0	0
CYESTS834	Current Year Estimated Salaries & Benefits	0	0	0	0	0	(133)	0	0
= LM834	Pleasant Prairie Maintenance General Plant	13,548	19,054	13,178	13,177	2,272	2,688	1,261	14,775
= 610842110	Full - time meter reading labor	2,609	4,056	4,632	4,632	2,123	0	617	7,408
= 610842111	Part - time salaries	479	293	185	185	0	0	0	0
= 610842112	Overtime salaries	175	159	0	0	0	0	0	0
= 610842151	Social security	249	339	369	369	160	0	47	567
= 610842152	Wisconsin retirement	263	256	320	320	141	0	43	519
= 610842153	Workers compensation	127	130	186	186	76	0	25	295
= 610842154	Health & life benefits	794	1,173	1,450	1,450	789	0	193	2,318
610842905	Internal Service Fund	4,171	5,961	8,500	8,500	1,865	1,877	712	8,500
CYESTS842	Current Year Estimated Salaries & Benefits	0	0	0	0	0	3,346	0	0
= LM842	Pleasant Prairie Meter Reading	8,866	12,368	15,642	15,642	5,154	5,223	1,638	19,606
= 610850110	Salaries	28,520	29,984	28,014	28,014	10,286	0	3,119	37,424
= 610850111	Part - time salaries	0	4,715	4,832	4,832	4,105	0	960	11,525
= 610850112	Overtime salaries	0	0	0	0	0	0	0	0
= 610850151	Social security	2,161	2,623	2,513	2,513	1,073	0	312	3,745
= 610850152	Wisconsin retirement	4,130	2,738	2,184	2,184	1,225	0	286	3,426
= 610850153	Worker's compensation	525	583	618	618	481	0	94	1,122
= 610850154	Health & life benefits	8,508	8,274	8,008	8,008	5,436	0	794	9,526
= 610850158	Long - term disability insurance	0	0	55	55	0	0	9	113

		ACTUAL 2011	ACTUAL 2012	H4Y201312	AMEND 2013	ACTUAL 2013	EST2013	DEPT2014	DEPTREQ14	
	ACCOUNT	Label	Actuals 2011	Actuals 2012	Original Budget 2013	Amended Budget 2013	Actuals 2013	Estimate 2013	Non HR Request	Total Department Request
	610850159	Retiree Medical Benefits	4,545	3,026	6,351	6,351	5,181	5,226	532	6,351
+	610850199	Personnel Transfers	178,849	183,061	189,223	189,223	152,539	183,386	16,581	198,774
	1	Transfer from Admin	0	0	34,230	0	0	34,230	3,013	36,101
	2	Transfer from Finance	0	0	57,554	0	0	57,554	5,118	61,394
	3	Transfer from IT	0	0	65,678	0	0	65,678	5,693	68,283
	4	Transfer from HR	0	0	21,237	0	0	21,237	1,844	22,128
	5	Transfer from Clerk	0	0	10,524	0	0	10,524	913	10,868
	6	Adj to Actual	0	0	0	0	0	(5,837)	0	0
	*	Amount missing from detail	178,849	183,061	0	189,223	152,539	0	0	0
	610850200	Temporary help	0	0	0	0	0	0	0	0
	610850201	Unemployment	3,478	2,959	1,838	1,838	1,533	1,838	102	1,180
	610850260	Travel/Mileage reimbursement	8	133	370	370	0	0	30	250
	610850261	Conference/meeting related expenses	279	0	280	280	100	100	27	280
+	610850262	Conferences/seminars/training	679	0	3,000	3,000	1,285	1,379	261	3,000
	1	Other	0	0	500	0	0	1,379	49	500
	2	New Program - Utility Analyst Training	0	0	2,500	0	0	0	212	2,500
	*	Amount missing from detail	679	0	0	3,000	1,285	0	0	0
	610850399	Miscellaneous expense	0	0	0	0	213	213	24	200
	CYESTS850	Current Year Estimated Salaries & Benefits	0	0	0	0	0	66,388	0	0
=	LM850	Pleasant Prairie Administration & General Salaries	231,682	238,095	247,287	247,286	183,458	258,530	23,130	276,916
	610851206	Contractual printing	1,398	838	1,600	1,600	746	1,246	137	1,600
	610851216	Legislative Services	758	1,899	750	750	779	1,383	68	750
	610851232	Facility lease	17,718	17,718	17,718	17,718	0	17,718	1,482	17,718
	610851241	Software maintenance agreemts	1,243	1,374	1,500	1,500	1,143	1,143	125	1,500
	610851262	Conferences/seminars/training	69	0	0	0	0	0	0	0
	610851310	Office supplies	195	535	250	250	255	255	30	250
	610851311	Copying/Printing	1,568	1,407	1,650	1,650	944	1,650	143	1,650
+	610851312	Postage	11,693	11,825	12,300	12,300	8,891	12,300	1,036	12,300
	1	Pitney Bowes - Smart Mailer	0	0	800	0	0	800	74	800
	2	Postage	0	0	11,500	0	0	11,500	962	11,500
	3	Other	0	0	0	0	0	0	0	0
	*	Amount missing from detail	11,693	11,825	0	12,300	8,891	0	0	0
	610851350	Minor equipment/tool replacemt	1,268	0	500	500	0	0	49	500
	610851399	Miscellaneous expense	0	0	0	0	44	44	6	50
=	LM851	Pleasant Prairie Office Supplies and Expense	35,909	35,596	36,268	36,268	12,801	35,739	3,076	36,318
+	610852210	Attorney fees	0	2,735	2,000	2,000	9,070	9,145	174	2,000
	1	Lift Station	0	0	0	0	0	7,249	0	0
	2	Westwood	0	0	0	0	0	1,704	0	0
	3	Other	0	0	0	0	0	192	174	2,000
	*	Amount missing from detail	0	2,735	2,000	2,000	9,070	0	0	0
+	610852211	Accounting & auditing fees	7,177	0	0	0	0	0	0	0
	1	Sewer Rate Study	0	0	0	0	0	0	0	0
	2	Other	0	0	0	0	0	0	0	0
	*	Amount missing from detail	7,177	0	0	0	0	0	0	0
	610852212	Engineering services	9,248	0	1,500	1,500	0	0	125	1,500
+	610852214	Consultant/contractual service	23,153	26,708	49,650	49,650	20,754	29,296	2,491	29,650
	1	Precise Underground Marking	0	0	25,000	0	0	24,220	2,087	25,000

		ACTUAL 2011	ACTUAL 2012	H4Y201312	AMEND 2013	ACTUAL 2013	EST2013	DEPT2014	DEPTREQ14
ACCOUNT	Label	Actuals 2011	Actuals 2012	Original Budget 2013	Amended Budget 2013	Actuals 2013	Estimate 2013	Non HR Request	Total Department Request
2	PSN - On-line Service	0	0	2,000	0	0	2,362	174	2,000
3	Digger's Hotline	0	0	2,000	0	0	2,679	174	2,000
4	Power Engineers - City Works	0	0	20,000	0	0	0	0	0
5	WI State Lab of Hygiene - Prof Test - Sewer D	0	0	650	0	0	0	56	650
6	Other	0	0	0	0	0	35	0	0
*	Amount missing from detail	23,153	26,708	0	49,650	20,754	0	0	0
=	LM852 Pleasant Prairie Outside Services Employed	39,577	29,443	53,150	53,150	29,824	38,441	2,790	33,150
+	610853510 Property & liability insurance	8,693	9,531	9,575	9,575	9,878	10,970	10,225	10,225
1	General Liability	0	0	7,900	0	0	7,900	8,100	8,100
2	Boiler and Machinery	0	0	275	0	0	335	345	345
3	Property	0	0	1,400	0	0	1,735	1,780	1,780
4	Deductible	0	0	0	0	0	1,000	0	0
*	Amount missing from detail	8,693	9,531	0	9,575	9,878	0	0	0
=	LM853 Pleasant Prairie Insurance Expense	8,693	9,531	9,575	9,575	9,878	10,970	10,225	10,225
	610856262 Conferences/seminars/training	0	0	0	0	0	0	0	0
+	610856300 Memberships & subscriptions	4,418	259	870	870	731	731	78	870
1	WI Utility Tax Assoc - Moved to General \$1815	0	0	0	0	0	0	0	0
2	Wi DNR Environmental \$1,815 charged to 601-610852-214 and water	0	0	0	0	0	0	0	0
3	Line Item 3	0	0	870	0	731	731	78	870
*	Amount missing from detail	4,418	259	0	870	0	0	0	0
	610856515 Return net investment meters	5,857	5,673	5,800	5,800	0	5,800	487	5,800
=	LM856 Pleasant Prairie Miscellaneous General Expense	10,275	5,932	6,670	6,670	731	6,531	565	6,670
+	610856901 Non personnel transfers	75,000	75,000	99,453	99,453	82,852	99,423	6,924	83,000
1	Original	0	0	82,100	0	82,852	99,423	6,924	83,000
2	New Program - Finance/HR/Payroll Software	0	0	17,353	0	0	0	0	0
*	Amount missing from detail	75,000	75,000	0	99,453	0	0	0	0
+	610856990 New program requests	0	0	0	0	0	0	(3,238)	(38,812)
1	Fund 100 Support Dept - Recommended New Programs	0	0	0	0	0	0	1,700	20,378
2	Utility Locates - In-house	0	0	0	0	0	0	(1,900)	(22,800)
3	I & I Inspection (Reduction in Treatment Expense)	0	0	0	0	0	0	(3,463)	(41,457)
4	I & I Inspection	0	0	0	0	0	0	699	8,300
5	Utility Locates - Allocation Personnel to Fund 100, 607	0	0	0	0	0	0	(274)	(3,233)
*	Amount missing from detail	0	0	0	0	0	0	0	0
=	610856991 New program request - Personnel	0	0	0	0	0	0	5,008	60,100
	610856994 Program Reduction	0	0	0	0	0	0	0	0
=	LMOPEXP Pleasant Prairie Total Operating Expense	4,477,136	4,263,673	4,530,325	4,530,323	2,373,333	4,461,233	2,054,862	4,516,173
	LAKE MICHIGAN (D) OPERATING EXPENSES								
=	D820 Lake Michigan (D) Operation - supervision & labor	0	0	0	0	0	0	0	0
=	D821 Lake Michigan (D) Power / fuel for pumping	0	0	0	0	0	0	0	0
=	D823 Lake Michigan (D) D Chlorine	0	0	0	0	0	0	0	0
=	D826 Lake Michigan (D) Other Chemicals - Sewage Treatment	0	0	0	0	0	0	0	0

		ACTUAL 2011	ACTUAL 2012	H4Y201312	AMEND 2013	ACTUAL 2013	EST2013	DEPT2014	DEPTREQ14	
	ACCOUNT	Label	Actuals 2011	Actuals 2012	Original Budget 2013	Amended Budget 2013	Actuals 2013	Estimate 2013	Non HR Request	Total Department Request
	630827293	Unmetered Residential Trmt	23,045	19,146	23,000	23,000	15,981	23,000	23,000	23,000
=	D827	Lake Michigan (D) Other Operating Supplies	23,045	19,146	23,000	23,000	15,981	23,000	23,000	23,000
=	D828	Lake Michigan (D) Transportation Expenses	0	0	0	0	0	0	0	0
=	630831110	Salaries	0	287	0	0	0	0	0	0
=	630831111	Part - time wages	0	140	0	0	0	0	0	0
=	630831112	Overtime salaries	0	0	0	0	0	0	0	0
=	630831151	Social security	0	32	0	0	0	0	0	0
=	630831152	Wisconsin retirement	0	20	0	0	0	0	0	0
=	630831153	Worker's compensation	0	16	0	0	0	0	0	0
=	630831154	Health & life benefits	0	95	0	0	0	0	0	0
+	630831214	Consultant/contractual service	0	1,600	0	0	0	0	0	0
	1	Somers raised manholes	0	0	0	0	0	0	0	0
	*	Amount missing from detail	0	1,600	0	0	0	0	0	0
	630831905	Fleet Internal Service Fund	0	801	0	0	0	0	0	0
	CYESTD831	Current Year Estimated Salaries & Benefits	0	0	0	0	0	0	0	0
=	D831	Lake Michigan (D) Maintenance Collection System	0	2,992	0	0	0	0	0	0
=	D832	Lake Michigan (D) Maintenance System Pumping Equip	0	0	0	0	0	0	0	0
=	D833	Lake Michigan (D) Maintenance Disposal Plant Equipment	0	0	0	0	0	0	0	0
=	D834	Lake Michigan (D) Maintenance General Plant	0	0	0	0	0	0	0	0
=	D842	Lake Michigan (D) Meter Reading	0	0	0	0	0	0	0	0
=	630850110	Salaries	1,864	0	0	0	0	0	0	0
=	630850111	Part - time salaries	0	0	0	0	0	0	0	0
=	630850112	Overtime salaries	0	0	0	0	0	0	0	0
=	630850151	Social security	141	0	0	0	0	0	0	0
=	630850152	Wisconsin retirement	172	0	0	0	0	0	0	0
=	630850153	Worker's compensation	37	0	0	0	0	0	0	0
=	630850154	Health & life benefits	608	0	0	0	0	0	0	0
=	630850158	Long - term disability insurance	0	0	0	0	0	0	0	0
	630850159	Retiree Medical Benefits	301	201	421	421	289	346	36	421
	630850191	Training & seminars	0	0	0	0	0	0	0	0
+	630850199	Personnel Transfers	17,033	17,434	18,021	18,021	14,463	17,321	1,605	18,930
	1	Transfer from Admin	0	0	3,260	0	0	3,260	292	3,438
	2	Transfer from Finance	0	0	5,481	0	0	5,481	490	5,847
	3	Transfer from IT	0	0	6,255	0	0	6,255	552	6,503
	4	Transfer from HR	0	0	2,023	0	0	2,023	182	2,107
	5	Transfer from Clerk	0	0	1,002	0	0	1,002	89	1,035
	6	Adj to Actual	0	0	0	0	0	(700)	0	0
	*	Amount missing from detail	17,033	17,434	0	18,021	14,463	0	0	0
	630850200	Temporary help	0	0	0	0	0	0	0	0
	630850201	Unemployment	138	26	0	0	0	0	0	0
	CYESTD850	Current Year Estimated Salaries & Benefits	0	0	0	0	0	0	0	0

		ACTUAL 2011	ACTUAL 2012	H4Y201312	AMEND 2013	ACTUAL 2013	EST2013	DEPT2014	DEPTREQ14	
	ACCOUNT	Label	Actuals 2011	Actuals 2012	Original Budget 2013	Amended Budget 2013	Actuals 2013	Estimate 2013	Non HR Request	Total Department Request
=	D850	Lake Michigan (D) Aministrative & General Salaries	20,295	17,661	18,442	18,442	14,751	17,667	1,641	19,351
=	D851	Lake Michigan (D) Office Supplies & Expenses	0	0	0	0	0	0	0	0
=	D852	Lake Michigan (D) Outside Services Employed	0	0	0	0	0	0	0	0
=	D853	Lake Michigan (D) Insurance	0	0	0	0	0	0	0	0
=	D856	Lake Michigan (D) Miscellaneous General Expense	0	0	0	0	0	0	0	0
=	DOPEXP	Lake Michigan (D) Total Operating Expense	43,339	39,799	41,442	41,442	30,733	40,667	24,641	42,351
		<b>OPERATING GAIN (LOSS)</b>								
=	LMPLOSS	Pleasant Prairie Operating Gain (Loss)	(22,341)	160,423	(71,504)	(71,502)	1,385,474	116,262	2,144,026	63,117
=	DOPLOSS	Lake Michigan (D) Operating Gain (Loss)	14,876	23,709	22,558	22,558	22,306	22,980	39,359	21,649
=	TOTOPLOSS	Total Operating Gain (Loss)	(7,465)	184,131	(48,946)	(48,944)	1,407,780	139,242	2,183,385	84,766
		<b>NON-OPERATING REVENUES</b>								
+	481103000	Gain/Loss on Sale	0	0	0	0	(69,134)	(69,134)	0	0
1		Fixed Assets Under \$5,000 write off	0	0	0	0	(69,134)	(69,134)	0	0
*		Amount missing from detail	0	0	0	0	0	0	0	0
	484190000	Interest on Investments	21,763	21,003	20,000	20,000	1,851	15,000	1,250	15,000
	484191000	Interest on Special Investments	10,898	6,499	9,472	9,472	0	4,775	387	4,523
	484192000	Interest Income - late payments	41,398	42,595	40,000	40,000	19,970	37,137	3,337	40,000
	484195000	Amortization of bond premium	56,264	52,476	49,205	49,205	0	49,205	4,109	49,297
=	TOTINT	Total Non Operating Revenue	130,323	122,573	118,677	118,677	(47,313)	36,983	9,083	108,820
		<b>Non-Operating Expenses</b>								
!	960427605	Amortization of issuance expense	24,111	22,437	18,520	18,520	0	0	0	0
	960427620	Interest on long term debt	361,183	331,402	306,037	306,037	204,327	306,037	19,491	233,793
	960427621	Capitalized Interest	(180)	(2,600)	0	0	0	0	0	0
	960427622	Interest on lease	0	0	0	0	0	0	0	0
=	LMNONOP	Total Non Operating Expenses	(385,114)	(351,239)	(324,557)	(324,557)	(204,327)	(306,037)	(19,491)	(233,793)
=	LOSSBCONT	Gain (Loss) Before Contributions	(262,256)	(44,535)	(254,826)	(254,824)	1,156,141	(129,812)	2,172,978	(40,207)
	492001000	Capital Contribution -Municipal	1,096,472	3,852	0	0	0	0	0	0
	492421000	Capital Contributions	299,171	258,579	50,000	50,000	0	1,050,600	0	0
	AUDIT1	Audit Adjustment	0	0	0	0	0	0	0	0
	TRANSFER	Transfer Out to ISF	0	0	0	0	0	0	0	0
=	NACHANGE	Change in Net Assets	1,133,386	217,897	(204,826)	(204,824)	1,156,141	920,788	2,172,978	(40,207)
		<b>Salaries &amp; Benefits Summary</b>								
=	SSALARIES	Salaries	275,862	266,675	270,836	270,836	194,384	0	23,169	278,011
=	SPTSALARIES	Part-Time Salaries	21,414	22,086	29,466	29,466	24,918	0	2,950	35,403
=	SOSALARIES	Overtime Salaries	13,118	6,964	9,352	9,352	10,548	0	786	9,434
=	STSALARIES	Total Salaries	310,394	295,726	309,654	309,654	229,850	0	26,906	322,849



			2014 Budget	Starting Salary	Increase %	Increase Period	New Salary	Increase% 2	Increase Period 2	New Salary 2	Bonus %	Bonus Amount
	100-06-006	Spence, Michael	0.00	\$99,438	3.00%	1	\$102,421		0	\$102,421		0
	100-06-018	Wlahovich, Steven	0.00	\$56,032	3.00%	1	\$57,713	5.88%	5	\$61,106		0
	100-06-019	Fineour, Matthew	0.00	\$85,069	3.00%	1	\$87,621		0	\$87,621		0
	100-06-061	Decker, Austin	0.00	\$40,248	3.00%	1	\$41,455	5.99%	7	\$43,939		0
	100-06-071	Finnigan, John	0.00	\$37,877	3.00%	1	\$39,013	6.26%	3	\$41,455		0
	100-07-002	Garza Jr., Fernando	0.00	\$57,075	3.00%	1	\$58,787		0	\$58,787		0
	100-07-008	Schaefer, David	0.00	\$47,341	3.00%	1	\$48,761		0	\$48,761		0
	100-07-011	Witt, Wyatt	0.00	\$57,075	3.00%	1	\$58,787		0	\$58,787		0
	100-07-013	Hupp, Thomas	0.00	\$60,890	3.00%	1	\$62,717	5.88%	3	\$66,404		0
	100-07-017	Lee, David	0.00	\$47,341	3.00%	1	\$48,761		0	\$48,761		0
	100-08-373	Perez, Sandro	0.00	\$74,984	3.00%	1	\$77,234		0	\$77,234		0
	110	Salary Account	0.00			0			0			0
	100-08-373o	OT - Perez, Sandro	0.00	\$5,570	3.00%	1	\$5,737		0	\$5,737		0
	112	Over-time Salaries	0.00			0			0			0
	100-06-061	Decker, Austin	0.00	\$40,248	3.00%	1	\$41,455	5.99%	7	\$43,939		0
	100-06-071	Finnigan, John	0.00	\$37,877	3.00%	1	\$39,013	6.26%	3	\$41,455		0
	100-07-002	Garza Jr., Fernando	0.00	\$57,075	3.00%	1	\$58,787		0	\$58,787		0
	100-07-008	Schaefer, David	0.00	\$47,341	3.00%	1	\$48,761		0	\$48,761		0
	100-07-011	Witt, Wyatt	0.00	\$57,075	3.00%	1	\$58,787		0	\$58,787		0
	100-07-013	Hupp, Thomas	0.00	\$60,890	3.00%	1	\$62,717	5.88%	3	\$66,404		0
	120	Snow Removal Wages	0.00			0			0			0
			0.00			0			0			0



# VILLAGE OF PLEASANT PRAIRIE

## New Programs

BUDGET YEAR: 2014

DEPARTMENT: Sewer Utility

FUND NO. & NAME: 601 - Sewer Utility

### NEW PROGRAMS OVERVIEW:

List all New Programs and amounts. For each New Program listed, a separate New Program detail sheet needed.

	NEW PROGRAM NAME	AMOUNT
1.	Utility Locates In-house	\$910
2.	I & I Video Inspection	\$0
3.	Fund 100 Support Departments - Recommended New Programs	\$20,378
4.		
5.		
6.		
7.		
8.		
9.		
10.		
11.		
12.		
13.		
14.		
15.		

TOTAL AMOUNT: \$21,288

# VILLAGE OF PLEASANT PRAIRIE

## New Programs

BUDGET YEAR: 2014

DEPARTMENT: Sewer Utility

FUND NO. & NAME: 601 - Sewer Utility

### NEW PROGRAMS REQUEST DETAIL:

Complete a detail sheet for each new program listed above. Note: Click to add "Additional New Program Request...".

NEW PROGRAM DETAIL NO.: 1

NEW PROGRAM NAME: Utility Locates In-house

CAPITAL PURCHASE REQUIRED: No IF YES,

CAPITAL PROJECT NAME: \_\_\_\_\_

CAPITAL PROJECT NO.: \_\_\_\_\_

APPROVED

REJECTED

ACCOUNT	DESCRIPTION	COST
601-610820-110	Wages and Benefits	\$23,710
601-610852-214	Consultant/ Contractual Services (Precise)	(\$25,000)
601-610820-350	Equipment & Materials	\$2,200

TOTAL COSTS: \$910

### OVERVIEW INCLUDING EFFECT ON GOALS:

Pleasant Prairie Utilities (PPU) has contracted Utility locating with Precise Locating Services since 2011. They locate Village owned utilities for anyone requesting to excavate in the public right of way. The level of service from Precise is decreased over the last year. There have been cases of poor locating practices leading to Village Utilities being hit by contractors. We are proposing to complete these locates in house for more accurate results and less damaged infrastructure.

# VILLAGE OF PLEASANT PRAIRIE

## New Programs

BUDGET YEAR: 2014

DEPARTMENT: Sewer Utility

FUND NO. & NAME: 601 - Sewer Utility

### NEW PROGRAMS REQUEST DETAIL:

Complete a detail sheet for each new program listed above. Note: Click to add "Additional New Program Request...".

NEW PROGRAM DETAIL NO.: 2

APPROVED

NEW PROGRAM NAME: I & I Video Inspection

REJECTED

CAPITAL PURCHASE REQUIRED: No IF YES,

CAPITAL PROJECT NAME: \_\_\_\_\_

CAPITAL PROJECT NO.: \_\_\_\_\_

ACCOUNT	DESCRIPTION	COST
601-610831-110	Wages & Benefits (Full-time)	\$53,887
601-610831-111	Wages & Benefits (Part-time)	(\$20,730)
601-610831-214	Consultant/ Contractual Services (Grouting)	\$8,300
601-610827-294	Metered Wastewater Treatment	(\$41,457)

**TOTAL COSTS:** \$0

### OVERVIEW INCLUDING EFFECT ON GOALS:

Pleasant Prairie Utilities (PPU) is a satellite system to the City of Kenosha treatment plants. The largest cost PPU pays is in wastewater treatment. Much of this treated waste water is actually groundwater which enters the sewer pipes through leaks. This program will start a proactive video inspection and grouting repair program in the sanitary sewer. The costs of the labor will be offset by less wastewater flows and treatment costs. This will ultimately lead to fewer sewer back ups in basements.

Village of Pleasant Prairie, WI

*Capital Plan*

2014 thru 2018

**PROJECTS BY DEPARTMENT**

<b>Department</b>	<b>Project#</b>	<b>Priority</b>	<b>2014</b>	<b>2015</b>	<b>2016</b>	<b>2017</b>	<b>2018</b>	<b>Total</b>
<b>601 Sewer Utility</b>								
Finance, payroll, HR Software	SEWER-12-13	n/a	12,488					12,488
Generators at lift stations	SEWER-11-01	1	30,000					30,000
Rebuild Lift Stations	SEWER-11-05	1	100,000	100,000	100,000	50,000	100,000	450,000
Repave Sewer Sites	SEWER-12-01	1	10,000	10,000	10,000	10,000		40,000
Heritage Valley Lift Station Abandon	SEWER-12-04	1	60,000	155,000				215,000
Cooper Road Basin Sewer Rehab to Reduce I/I	SEWER-14-01	1	100,000	100,000	100,000	100,000	100,000	500,000
<b>601 Sewer Utility Total</b>			<b>312,488</b>	<b>365,000</b>	<b>210,000</b>	<b>160,000</b>	<b>200,000</b>	<b>1,247,488</b>
<b>601/602 Sewer/Water Split</b>								
Inframap	S/W-14-01	1	10,000					10,000
SCADA Upgrade	S/W-14-02	1	33,000					33,000
<b>601/602 Sewer/Water Split Total</b>			<b>43,000</b>					<b>43,000</b>
<b>GRAND TOTAL</b>			<b>355,488</b>	<b>365,000</b>	<b>210,000</b>	<b>160,000</b>	<b>200,000</b>	<b>1,290,488</b>

# Capital Plan

2014 *thru* 2018

**Department** 601 Sewer Utility

## Village of Pleasant Prairie, WI

**Contact** Kathy Goessl

<b>Project #</b>	<b>SEWER 12-13</b>
<b>Project Name</b>	<b>Finance, payroll, HR Software</b>

**Type** Equipment

**Useful Life** 10 years

**Category** IT Equipment - New

**Special Assessable**

**Priority** n/a

**Fund Number**

**Status** Active

**Total Project Cost:** \$31,275

<b>Description</b>
Allocation of the capital cost of 2013 IT capital project for Finance / HR and Payroll software

<b>Justification</b>

<b>Prior</b>	<b>Expenditures</b>	<b>2014</b>	<b>2015</b>	<b>2016</b>	<b>2017</b>	<b>2018</b>	<b>Total</b>
18,787	Equip/Vehicles/Furnishings	12,488					12,488
<b>Total</b>	<b>Total</b>	12,488					12,488

<b>Prior</b>	<b>Funding Sources</b>	<b>2014</b>	<b>2015</b>	<b>2016</b>	<b>2017</b>	<b>2018</b>	<b>Total</b>
18,787	Operating Funds	12,488					12,488
<b>Total</b>	<b>Total</b>	12,488					12,488

<b>Budget Impact/Other</b>
Training, travel and conversion costs associated with this project

<b>Prior</b>	17,353
<b>Total</b>	

# Capital Plan

2014 *thru* 2018

**Department** 601 Sewer Utility

## Village of Pleasant Prairie, WI

**Contact** John Steinbrink, Jr.

<b>Project #</b>	<b>SEWER-11-01</b>
<b>Project Name</b>	<b>Generators at lift stations</b>

**Type** Equipment

**Useful Life** 20 years

**Category** Equipment - New

**Priority** 1 Urgent

**Status** Active

Special Assessable

**Fund Number**

**Total Project Cost:** \$60,000

Description
Install generators at 2 lift stations:
2013 - 63rd Lift Station - Install natural gas powered generator with enclosure on a concrete pad at lift station in case of power failure.
2014 - Carol Beach Unit A- Install natural gas powered generator with enclosure on a concrete pad at lift station in case of power failure.

Justification
Back up power at the lift stations is necessary to ensure there are no sewer backups during a rain event.

Prior	Expenditures	2014	2015	2016	2017	2018	Total
30,000	Equip/Vehicles/Furnishings	30,000					30,000
<b>Total</b>	<b>Total</b>	30,000					30,000

Prior	Funding Sources	2014	2015	2016	2017	2018	Total
30,000	Operating Funds	30,000					30,000
<b>Total</b>	<b>Total</b>	30,000					30,000

Budget Impact/Other

# Capital Plan

2014 *thru* 2018

## Village of Pleasant Prairie, WI

**Department** 601 Sewer Utility

**Contact** John Steinbrink, Jr.

**Type** Improvement

**Useful Life** 15-20 years

**Category** Sanitary Sewer Other

**Priority** 1 Urgent

**Status** Active

**Total Project Cost:** \$450,000

**Project #** SEWER-11-05  
**Project Name** Rebuild Lift Stations

**Special Assessable**

**Fund Number**

### Description

Rebuild 5 Lift Stations:

2013 CB1 Lift Station- Rebuild lift station and controls.

2014 63rd Lift Station- Rebuild lift station and controls.

2015 Slaters Lift Station- Rebuild lift station and controls.

2016 192 Lift Station- Rebuild lift station and controls.

2017 Carol Beach Unit 6- Rebuild lift station and controls.

2018 Post Office Lift Station- Rebuild lift station and controls

### Justification

The lift stations are reaching the end of their life span. They are continuing to cost more to maintain and the new technology much more cost efficient.

Expenditures	2014	2015	2016	2017	2018	Total
Construction	100,000	100,000	100,000	50,000	100,000	450,000
<b>Total</b>	<b>100,000</b>	<b>100,000</b>	<b>100,000</b>	<b>50,000</b>	<b>100,000</b>	<b>450,000</b>

Funding Sources	2014	2015	2016	2017	2018	Total
Operating Funds	100,000	100,000	100,000	50,000	100,000	450,000
<b>Total</b>	<b>100,000</b>	<b>100,000</b>	<b>100,000</b>	<b>50,000</b>	<b>100,000</b>	<b>450,000</b>

### Budget Impact/Other

# Capital Plan

2014 *thru* 2018

**Department** 601 Sewer Utility

## Village of Pleasant Prairie, WI

**Contact** John Steinbrink, Jr.

<b>Project #</b>	<b>SEWER-12-01</b>
<b>Project Name</b>	<b>Repave Sewer Sites</b>

**Type** Improvement

**Useful Life** 20 years

**Category** Parking Lots

**Priority** 1 Urgent

**Status** Active

**Total Project Cost:** \$50,000

Special Assessable

Fund Number

<b>Description</b>
Repave parking lot at Sewer sites to allow vehicle access for maintenance and emergencies.

<b>Justification</b>
The parking lot at Sewer D is in need of repaving. It will take approximately 940 sq/yds of material to pave this lot. This building contains our water lab, meter testing station, lift station inventory and the garage is used for equipment storage. It is important to have paved access to this building.
The driveways at Chateau Lift need to be widened in order for our maintenance trucks to have the proper access. This will require 210 sq/yds of material to complete

Prior	Expenditures	2014	2015	2016	2017	2018	Total
10,000	Construction	10,000	10,000	10,000	10,000		40,000
<b>Total</b>	<b>Total</b>	10,000	10,000	10,000	10,000		40,000

Prior	Funding Sources	2014	2015	2016	2017	2018	Total
10,000	Operating Funds	10,000	10,000	10,000	10,000		40,000
<b>Total</b>	<b>Total</b>	10,000	10,000	10,000	10,000		40,000

<b>Budget Impact/Other</b>
Useful life exceeded, improvements needed for emergency access.



# Capital Plan

2014 *thru* 2018

**Department** 601 Sewer Utility

## Village of Pleasant Prairie, WI

**Contact** John Steinbrink, Jr.

<b>Project #</b>	<b>SEWER-12-04</b>
<b>Project Name</b>	<b>Heritage Valley Lift Station Abandon</b>

**Type** Improvement

**Useful Life**

**Category** TID 2 Sewer

**Priority** 1 Urgent

**Status** Active

**Special Assessable**

**Fund Number**

**Total Project Cost: \$215,000**

Description
Abandon the Heritage Valley Lift Station and route the sewer from the subdivision the the sewer line on the Prairie Farms Bike Trail by gravity.

Justification
Eliminating a Lift Station would drastically reduce the maintenance costs as well as the possibility of a sewer backup due to power or pump failure.

Expenditures	2014	2015	2016	2017	2018	Total
Planning / Design	10,000					10,000
Land Acquisition	50,000					50,000
Construction		155,000				155,000
<b>Total</b>	<b>60,000</b>	<b>155,000</b>				<b>215,000</b>

Funding Sources	2014	2015	2016	2017	2018	Total
Operating Funds	60,000	155,000				215,000
<b>Total</b>	<b>60,000</b>	<b>155,000</b>				<b>215,000</b>

Budget Impact/Other
Abandoning the Lift Station would reduce maintenance costs and eliminate the need for electric and phone service to the site.

# Capital Plan

2014 *thru* 2018

## Village of Pleasant Prairie, WI

**Department** 601 Sewer Utility  
**Contact** John Steinbrink, Jr.  
**Type** Improvement  
**Useful Life** 50  
**Category** Sanitary Sewer Collection  
**Priority** 1 Urgent  
**Status** Active

**Project #** SEWER-14-01  
**Project Name** Cooper Road Basin Sewer Rehab to Reduce I/I

**Special Assessable**  
**Fund Number**

**Total Project Cost:** \$700,000

**Description**  
 Rehab Sanitary Sewer on Cooper Road Basin along with Inflow & Infiltration grant program.

**Justification**  
 Reduced sewer treatment costs by rehabilitating the Villages sewer mains to reduce inflow and infiltration. A grant program will assist residents in reducing the inflow and infiltration from private property.

Prior	Expenditures	2014	2015	2016	2017	2018	Total
200,000	Construction	100,000	100,000	100,000	100,000	100,000	500,000
<b>Total</b>	<b>Total</b>	100,000	100,000	100,000	100,000	100,000	500,000

Prior	Funding Sources	2014	2015	2016	2017	2018	Total
200,000	Operating Funds	100,000	100,000	100,000	100,000	100,000	500,000
<b>Total</b>	<b>Total</b>	100,000	100,000	100,000	100,000	100,000	500,000

**Budget Impact/Other**  
 Reduced flow to Kenosha Treatment Plant, lower the risks of a sewer backup and reduce the amount of emergency callouts during rain events.

**Capital Plan**

2014 *thru* 2018

**Department** 601/602 Sewer/Water Split

**Village of Pleasant Prairie, WI**

**Contact** John Steinbrink, Jr.

<b>Project #</b>	<b>S/W-14-01</b>
<b>Project Name</b>	<b>Inframap</b>

**Type** Improvement

**Useful Life** 10 years

**Category** Software

**Priority** 1 Urgent

**Status** Active

**Total Project Cost:** \$10,000

Special Assessable

Fund Number

<b>Description</b>
Purchase asset management software to interface with Cityworks

<b>Justification</b>
Fill the gap in the current asset management software. Enable the utility department to better keep track of maintenance programs

<b>Expenditures</b>	<b>2014</b>	<b>2015</b>	<b>2016</b>	<b>2017</b>	<b>2018</b>	<b>Total</b>
Equip/Vehicles/Furnishings	10,000					10,000
<b>Total</b>	<b>10,000</b>					<b>10,000</b>

<b>Funding Sources</b>	<b>2014</b>	<b>2015</b>	<b>2016</b>	<b>2017</b>	<b>2018</b>	<b>Total</b>
Operating Funds	10,000					10,000
<b>Total</b>	<b>10,000</b>					<b>10,000</b>

<b>Budget Impact/Other</b>

# Capital Plan

2014 *thru* 2018

## Village of Pleasant Prairie, WI

**Department** 601/602 Sewer/Water Split

**Contact** John Steinbrink, Jr.

**Type** Improvement

**Useful Life** 10 years

**Category** Water Distribution System

**Priority** 1 Urgent

**Status** Active

**Total Project Cost:** \$33,000

<b>Project #</b>	S/W-14-02
<b>Project Name</b>	SCADA Upgrade

Special Assessable

Fund Number

<b>Description</b>
SCADA Upgrade

<b>Justification</b>

<b>Expenditures</b>	<b>2014</b>	<b>2015</b>	<b>2016</b>	<b>2017</b>	<b>2018</b>	<b>Total</b>
Equip/Vehicles/Furnishings	33,000					33,000
<b>Total</b>	<b>33,000</b>					<b>33,000</b>

<b>Funding Sources</b>	<b>2014</b>	<b>2015</b>	<b>2016</b>	<b>2017</b>	<b>2018</b>	<b>Total</b>
Operating Funds	33,000					33,000
<b>Total</b>	<b>33,000</b>					<b>33,000</b>

<b>Budget Impact/Other</b>

Pleasant Prairie Utilities  
2013 Budgeted Laborer Annual Hours

**Using Current Employees**

	610 Sewer PI Pr Utility	630 Sewer LM Somers	Water	Other	Total
1 RecPlex Maintenance - Sandro		650			
7 Full Time Employees @	2,080	14,560			FT hours
2 Part Time Employees @	1664	3,328			6,014 PT hours
2 Part Time Employees @	640	1,280			
Hydrant Flushing Hours	450	450			
<b>Total Hrs Available</b>		<b>20,268</b>			
<b>Variance s/b zero</b>		<b>-</b>			
Parks Mowing Hr Allocation		956 Parks			

Budget 2014

Rates

Full Time Operation	24.22	30.68%
Part Time Employees	11.22	
Mix Rate Operations	21.17	
New Employees	0.00	
Parks Mow Mixed Rate	12.03	

Mixed Rate Calculation		
Hours	Rates	Hrs* Rate
4,608	11.22	51,702
15,010	24.22	363,542
19,618		415,244

Part Time  
Full Time Employees

Pleasant Prairie Utilities  
2013 Budgeted Laborer Annual Hours

Using Current Employees

		610 Sewer PI Pr Utility	630 Sewer LM Somers	Water	Other	Total	Budget 2014
<b><u>Operating Hours, Converted to Dollars</u></b>							
<u>Water</u>							
602-650624	Pumping Expenses			175		175	100
	Pumping Expenses mowing			168		168	168
	Pumping Expenses			3,704		3,704	2,117
	Pumping Expenses mowing			2,021		2,021	2,021
602-650624-112	Overtime - Pumping Expenses			500		500	500
602-650633	Pumping - Maint of Equipmt			250		250	180
				5,292		5,292	3,810
602-650633-112	Overtime - Pumping Maint			1000		1000	1000
602-650660							
602-650661	Tran/Dist - Storage Facilities			450		450	300
	Tran/Dist - Storage Facilities mowing			84		84	84
	Tran/Dist - Storage Facilities			9,525		9,525	6,350
	Tran/Dist - Storage Facilities mowing			1,011		1,011	1,011
602-650661-112	Overtime - Transmission and Dist.			0		0	
602-650662	Trans/Dist - Lines			2,846		2,846	3,000
				60,240		60,240	63,499
602-650662-112	Overtime - Transmission and Dist.			1,000		1,000	1,000
602-650663	Trans/Dist - Meters			150		150	150
				3,175		3,175	3,175
602-650663-112	Overtime - Transmission and Dist.			0		0	
602-650670							
602-650672	Maint of Dist Reservoirs			20		20	100
				423		423	2,117
602-650672-112	Overtime - Maint of Dist					0	
602-650673	Maintenance of Mains			1,100		1,100	1,200
				23,283		23,283	25,400
602-650673-112	Overtime - Maint. of Mains			5,000		5,000	5,000
602-650675	Maintenance of Services			500		500	450
		0	0	10,583		10,583	9,525
602-650675-112	Overtime - Maint. of Services			1,000		1,000	1,000
602-650676	Maintenance of Meters			700		700	800
				14,817		14,817	16,933
602-650676-112	Overtime - Maint of Meters			100		100	100
602-650677	Maintenance of Hydrants			400		400	415
				8,467		8,467	8,784
602-650677-112	Overtime - Maint of Hydrants			500		500	500
602-650902	Meter Reading Labor <b>FT Labor</b>		-	900		900	775
				19,050		19,050	16,404
602-650902-112	Overtime - Meter Reading			200		200	200
602-650920							
602-651097							
	Total Hours	-	-	7,743	-	7,743	7,722
	Total Dollars	0	0	161,590	0	161,590	161,145
	Total Overtime Dollars	0	0	9,300	0	9,300	9,300

**Sewer/Water Split**

602-651070	Hours						
	Dollars						

Pleasant Prairie Utilities  
2013 Budgeted Laborer Annual Hours

Using Current Employees

Sewer			610 Sewer PI	630 Sewer	Water	Other	Total	Budget 2014
			Pr Utility	LM Somers				
601-6*0820	Collection system labwork	Hours	500				500	500
		Dollars	10,583	-			10,583	10,583
601-6*0820-112	Overtime - Supervision and Labor	Dollars	500				500	500
601-6*0831	Maint of Sewage Collection System	Hours	4,450				4,500	4,500
601-6*1027	Industrial Sampling Hours	Hours	500				500	700
			4,950	-			5,000	5,200
			104,774	-			104,774	110,066
601-6*0831-112	Overtime - Maint Swr Collection Sys	Dollars	5,000				5,000	5,000
601-6*0832	Maint of Collection System Pumping I	Hours	2,082				2,082	2,600
	Maint of Collect sys pmp mowing		504				504	504
	Maint of Collection System Pumping I	Dollars	44,069	-			44,069	55,033
	Maint of Collect sys pmp mowing		6,063				6,063	6,063
601-6*0832-112	Overtime - Maint System Pumping Ec	Dollars	2,500				2,500	2,500
601-6*0833	Maint of Treatment & Disposal Plant I	Hours	-				-	-
		Dollars	-	-			-	0
601-6*0833-112	Overtime - Maint of Treatmt & Dispos	Dollars	-				-	-
601-6*0834	Maint of General Plant	Hours	80				80	80
	Maint of General Plant mowing		200				200	200
	Maint of General Plant	Dollars	1,693	-			1,693	1,693
	Maint of General Plant mowing		2,406				2,406	2,406
601-6*0834-112	Overtime - Maint of General Plant	Dollars	-				-	-
601-610842	Sewer Meter Reads		223				223	350
			4,720				4,720	7,408
601-610850		Hours						
601-611074-112		Hours						
601-611094		Hours						
601-611098		Hours						
	<b>Total Hours</b>		8,316	-	-	-	8,589	9,434
	<b>Total Dollars</b>		169,588	-	-	-	174,308	193,252.47
	<b>Overtime Total Dollars</b>		8,000	-	-	-	8,000	8,000
<b>Projects</b>								
601-611099	LS rebuild	Hours	520				520	520
		Dollars	11,007	-			11,007	11,007
601-610831	Prairie Farms Trail 831 acct	Hours						
		Dollars						
	Carol Beach Unit 1 LS rebuild	Hours				600	600	
		Dollars				12,700	12,700	
602-650633	Abandon Ladish Well	Hours				240	240	240
		Dollars				5,080	5,080	5,080
	Install PRV on Sheridan rd	Hours			250			250
		Dollars			5,292		5,292	5,292
	Rebuild manholes 165/H-63rd	Hours			250			250
		Dollars			5,292		5,292	5,292
	Generator Install	Hours	300		0		300	300
		Dollars	6,350				6,350	6,350
601-610832	Pig 18 inch forcemain at LakeView L	Hours				150	150	150
		Dollars				3,175	3,175	3,175
601-610831	Update 3 flumes/ add 2 SCADA	Hours				240	240	240
		Dollars				5,080	5,080	5,080
	73-1Lift Station abandonment	Hours				120	120	
		Dollars				2,540	2,540	
	<b>Total</b>	Hours	820	-	500	1,350	2,170	1,950
		Dollars	17,357	-	10,583	28,575	56,514	41,275
<b>Meter Installations charged to asset account</b>								
	Meter Installations					312	312	312
		Hours				312	312	312
		Dollars	\$ -	\$ -	\$ -	\$ 6,603.94	\$ 6,603.94	\$ 6,603.94
<b>Assist Other Departments</b>								
	ISF	Hours				400	400	400
	Snow Plowing/Culvert	Hours				450	450	450
		Dollars	\$ -	\$ -	\$ -	\$ 17,991.51	\$ 17,991.51	\$ 17,991.51
	<b>Grand Total Hours</b>		8,316	-	7,743	2,512	19,664	20,268
	<b>Grand Total Dollars</b>		169,588	-	161,590	24,595	355,773	420,268
	<b>Grand Total Overtime Dollars</b>		8,000	-	9,300	-	17,300	17,300

Village of Pleasant Prairie  
 New Program Request - Personnel  
 Account# 991

**Dept.: Sewer & Water**

Position	Salary	Social Security	WI Retirement	Workers Comp.	Health/Life Benefit	Long-Term Disability	Total
New Utility Locate Position (1 FT @ \$14.99/hr.) Split - Sewer/Water	31,179	2,385	2,183	1,241	16,899	-	53,887
New I & I Video Inspection - Sewer Only (1 FT @ \$14.99/hr.) Less Reduction in Part-time (1 PT @ 1456 hors @ \$12.00/hr)	31,179 (17,472)	2,385 (1,337)	2,183 (1,223)	1,241 (695)	16,899 (3)	-	53,887 (20,730)
	13,707	1,049	960	546	16,896	-	33,157
<b>Total Cost New Programs</b>	<b>44,886</b>	<b>3,434</b>	<b>3,142</b>	<b>1,786</b>	<b>33,795</b>	<b>-</b>	<b>87,044</b>
Sewer	27,426	2,098	1,920	1,092	24,332	-	56,867
Water	10,913	835	764	434	5,915	-	18,860
Other Budget already completed (Fund 100, 607)	6,548	501	458	261	3,549	-	11,316
<b>Total</b>	<b>44,886</b>	<b>3,434</b>	<b>3,142</b>	<b>1,786</b>	<b>33,795</b>	<b>-</b>	<b>87,044</b>

	Precise Underground		
	2013 Actual	2014 Budget	2013 %
Sewer	24,220	25,000	43.61%
Water	19,460	15,000	35.04%
Clean Water	9,791	3,700	17.63%
Street Lighting	2,061	-	3.71%
<b>Total</b>	<b>55,532</b>	<b>43,700</b>	<b>100.00%</b>

Cost of treatment savings need	\$	41,457.00
cost to treat 1,000 gal sewage	\$	5.70
gallons need to reduce for balanc		7,273,157.89
Average Leak (gpm)		1.00
gallon over 1 year		525,600.00
Leaks needed to seal		13.84
Cost to grout a leak	\$	600.00
cost to grout all leaks	\$	8,302.69



**RESOLUTION #14-03**

**RESOLUTION RELATING TO ADOPTION  
OF 2014 SEWER UTILITY BUDGET**

WHEREAS, the Village Board of the Village of Pleasant Prairie, in order to provide sewer collection and treatment services to the residents of the Village of Pleasant Prairie; and,

WHEREAS, the proposed 2014 Budget including operating and capital plans have been presented and discussed publicly at tonight's Village Board Meeting, and,

WHEREAS, the adoption of the Sewer Utility Budget doesn't requires a user fee increase and,

NOW, THEREFORE, BE IT RESOLVED that the Village Board of the Village of Pleasant Prairie hereby adopts the 2014 Sewer Utility Budget.

Passed and adopted this 3<sup>rd</sup> day of February, 2014.

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John P. Steinbrink, President  
Village of Pleasant Prairie

Attest:

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Jane M. Romanowski, Village Clerk

# VILLAGE OF PLEASANT PRAIRIE

## BUDGET COVER PAGE

**BUDGET YEAR:** 2014

**DEPARTMENT:** Water Utility



**SUBMITTED BY:** John Steinbrink, Jr., Public Works Director

# VILLAGE OF PLEASANT PRAIRIE

## Overview

**BUDGET YEAR:** 2014

**DEPARTMENT:** Water Utility

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The Department of Public Works Utility Division manages, maintains, repairs and constructs, the sewer and water infrastructure. The department consists of seven full time employees, three year round part time employees and two seasonal employees during the summer months supervised by an Utility Foreman . Work processes are being evaluated to improve efficiencies within the Utility department.

### **Projects completed in 2013**

The Utility department has successfully completed hydrant flushing and valve exercising per DNR requirements.

Maintenance staff located and exposed many mainline valves buried under roadways. This will reduce the disruption of service to our customers when repairs and maintenance is required. Maintenance staff will continue to replace the old bolts with stainless steel bolts on valves as they are required. The valve specification was updated in 2001 to include stainless steel bolts.

### **Projects for 2014**

The main goal of the Utility will be to continue making upgrades to the SCADA programming in the water system to monitor energy usage. Management will focus on these activities and monitoring energy consumption using updated SCADA reports at the water booster stations.

# VILLAGE OF PLEASANT PRAIRIE

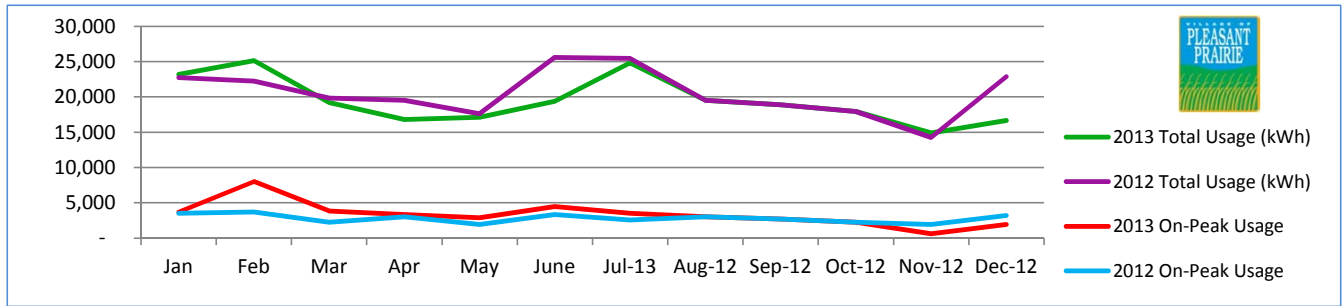
## TRENDING REPORT

DEPARTMENT: Water Utility

BUDGET YEAR: 2014

Trend # 1

### Lakeview Booster



— 2013 Total Usage (kWh)  
— 2012 Total Usage (kWh)  
— 2013 On-Peak Usage  
— 2012 On-Peak Usage

2013	2013 Total Usage (kWh)	2013 On-Peak Usage
Jan	23,200	3,680
Feb	25,120	8,000
Mar	19,200	3,840
Apr	16,800	3,360
May	17,120	2,880
June	19,360	4,480
Jul-13	24,800	3,520
Aug-12	19,520	3,040
Sep-12	18,880	2,720
Oct-12	17,920	2,240
Nov-12	14,880	640
Dec-12	16,640	1,920

Reduce on-peak energy consumption at booster/pumping stations.

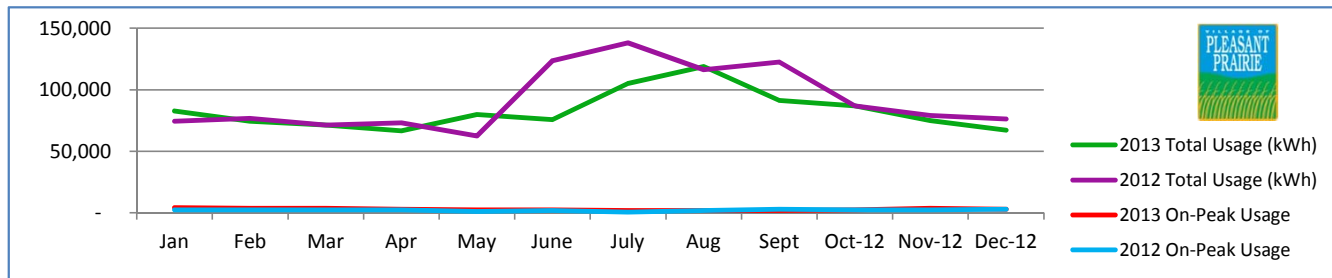
2012	2012 Total Usage (kWh)	2012 On-Peak Usage
Jan	22,720	3,520
Feb	22,240	3,680
Mar	19,840	2,240
Apr	19,520	3,040
May	17,600	1,920
June	25,600	3,360
July	25,440	2,560
Aug	19,520	3,040
Sept	18,880	2,720
Oct	17,920	2,240
Nov-11	14,240	1,920
Dec-11	22,880	3,200

# VILLAGE OF PLEASANT PRAIRIE

## TRENDING REPORT

Trend #2

### Sheridan Pumping Station



2013	2013 Total Usage (kWh)	2013 On-Peak Usage
Jan	82,800	4,200
Feb	74,400	3,600
Mar	71,400	3,600
Apr	66,600	3,000
May	79,800	2,400
June	75,600	2,400
July	105,000	1,800
Aug	118,800	1,800
Sept	91,200	1,800
Oct-12	87,000	2,400
Nov-12	75,000	3,600
Dec-12	67,200	3,000

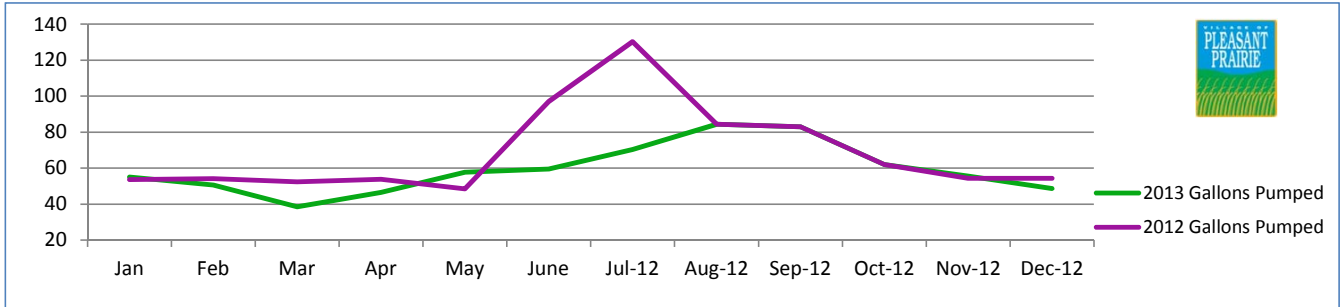
Reduce on-peak energy consumption at booster/pumping stations.

2012	2012 Total Usage (kWh)	2012 On-Peak Usage
Jan	74,400	2,400
Feb	76,800	2,400
Mar	71,400	2,400
Apr	73,200	2,400
May	62,400	1,200
June	123,600	1,800
July	138,000	600
Aug	116,400	1,800
Sept	122,400	3,000
Oct	87,000	2,400
Nov-11	79,200	2,400
Dec-11	76,200	3,000

# VILLAGE OF PLEASANT PRAIRIE

## TRENDING REPORT

### Gallons Pumped at Sheridan Pumping Station



Billing Month	Date Range		Pumped (In Millions)
Jan	12/18/12	1/22/13	54.98
Feb	1/23/13	2/19/13	50.5
Mar	2/18/13	3/20/13	38.47
Apr	3/21/13	4/17/13	46.48
May	4/18/13	5/20/13	57.71
June	05/21/13	06/18/13	59.52
Jul-12	06/19/13	07/19/12	70.38
Aug-12	07/20/12	08/15/12	84.379
Sep-12	08/16/12	09/17/12	82.884
Oct-12	09/18/12	10/15/12	61.95
Nov-12	10/16/12	11/15/12	55.6
Dec-12	11/16/12	12/17/12	48.598

Millions of gallons pumped at Sherdain Pumping Station. Village staff uses this information to reduce energy costs.

Billing Month	Date Range	Gallons Pumped (In Millions)
Jan	12/18/12 - 1/22/13	54.98
Feb	1/23/13 - 2/19/13	50.5
Mar	2/18/13 - 3/20/13	38.47
Apr	3/21/13 - 4/17/13	46.48
May	4/18/13 - 5/20/13	57.71
June	05/21/13 - 06/18/13	59.52
Jul-12	06/19/13 - 07/19/12	70.38
Aug-12	07/20/12 - 08/15/12	84.379
Sep-12	08/16/12 - 09/17/12	82.884
Oct-12	09/18/12 - 10/15/12	61.95
Nov-12	10/16/12 - 11/15/12	55.6
Dec-12	11/16/12 - 12/17/12	48.598

# VILLAGE OF PLEASANT PRAIRIE

## Goals

**BUDGET YEAR:** 2013

**DEPARTMENT:** Water Utility

**UPDATE TYPE:** 3rd QTR

### GOALS:

Limited to three (3) goals. Description and Results limited to 500 text characters.

### GOAL #1

**TITLE:** Reduce Energy Consumption at Pumping Reservoirs

- NUMBER  
 PERCENT

Percent will show as whole numbers. If percent, total must equal 100 for your goal and forecast lines.

	1st QTR	2nd QTR	3rd QTR	4th QTR	TOTAL
<b>GOAL</b>	2	2	2	2	8
<b>ACTUAL</b>	0	28	17		45
<b>FORECAST</b>	0	28	17		45

<b>DESCRIPTION</b>	The Water Utility spends over \$100,000 annually in electrical charges pumping water at the two distribution reservoirs. We Energies has a tiered rate structure based on the time electricity is consumed. There is a peak time rate from 9am to 9pm. The Water Utility is charged a 15min peak rate based on the highest rate used over the last 11 months. It is the goal of the utility to reduce the 15 minute peak demand charge by better managing in pump run cycles resulting in reduced charges.
<b>RESULTS</b>	Through better management of the pump run cycles, electricity charges have been reduced over the last twelve months.

# VILLAGE OF PLEASANT PRAIRIE

## Goals

**BUDGET YEAR:** 2014

**DEPARTMENT:** Water Utility

**UPDATE TYPE:** Original

### GOALS:

Limited to three (3) goals. Description and Results limited to 500 text characters.

### GOAL #1

**TITLE:** Exercise All Water Valves in the Village

- NUMBER  
 PERCENT

Percent will show as whole numbers. If percent, total must equal 100 for your goal and forecast lines.

	1st QTR	2nd QTR	3rd QTR	4th QTR	TOTAL
<b>GOAL</b>	25	25	25	25	100
<b>ACTUAL</b>					0
<b>FORECAST</b>					0

<b>DESCRIPTION</b>	Exercising system water valves ensures the reliability of the valves in emergencies, extends valve life, improves the ability to isolate main breaks (reducing the number of customers affected by the disruption of service for the repair) and less labor dealing with emergency repairs.
<b>RESULTS</b>	



		ACTUAL 2011	ACTUAL 2012	H4Y201312	AMEND 2013	ACTUAL 2013	EST2013	DEPT2014	DEPTREQ14	
	ACCOUNT	Label	Actuals 2011	Actuals 2012	Original Budget 2013	Amended Budget 2013	Actuals 2013	Estimate 2013	Non HR Request	Total Department Request
		<b>WATER OPERATING REVENUES</b>								
	464602000	Bulk water sales	14,732	14,721	10,000	10,000	1,559	10,000	10,000	10,000
+	464611000	Residential meter sales	1,298,464	1,565,926	1,449,427	1,449,427	1,228,086	1,444,478	1,544,000	1,544,000
+	464612000	Commercial meter sales	423,663	483,613	454,373	454,373	408,960	490,514	494,000	494,000
+	464613000	Industrial meter sales	1,003,234	1,142,700	1,110,781	1,110,781	916,109	1,107,684	1,056,000	1,056,000
+	464614000	Public authority meter sales	65,301	83,337	69,313	69,313	66,504	76,268	80,000	80,000
+	464620000	Private fire protection	60,228	83,343	90,492	90,492	76,498	91,962	92,000	92,000
+	464630000	Public fire protection	772,287	827,970	789,227	789,227	676,319	817,916	818,300	818,300
=	<b>WSALES</b>	<b>Water Utility Sales</b>	<b>3,637,909</b>	<b>4,201,610</b>	<b>3,973,613</b>	<b>3,973,613</b>	<b>3,374,035</b>	<b>4,038,822</b>	<b>4,094,300</b>	<b>4,094,300</b>
	464720000	Tower lease revenue	115,562	119,659	119,370	119,370	126,019	119,686	127,200	127,200
+	464740000	Other Water Revenue	12,031	8,649	5,000	5,000	57,832	94,900	424	5,000
=	<b>WOPREV</b>	<b>Water Utility Total Operating Revenue</b>	<b>3,765,502</b>	<b>4,329,918</b>	<b>4,097,983</b>	<b>4,097,983</b>	<b>3,557,886</b>	<b>4,253,408</b>	<b>4,221,924</b>	<b>4,226,500</b>
		<b>WATER OPERATING EXPENSES</b>								
	650403600	Depreciation expense	532,554	519,291	532,000	532,000	0	532,000	43,337	520,000
	650403601	Depreciation - contributed asset	479,230	480,869	479,000	479,000	0	479,000	40,087	481,000
=	<b>W403</b>	<b>Depreciation Expense</b>	<b>1,011,784</b>	<b>1,000,161</b>	<b>1,011,000</b>	<b>1,011,000</b>	<b>0</b>	<b>1,011,000</b>	<b>83,424</b>	<b>1,001,000</b>
=	<b>650408151</b>	<b>Social security</b>	<b>11,971</b>	<b>18,124</b>	<b>24,258</b>	<b>24,258</b>	<b>14,206</b>	<b>0</b>	<b>1,784</b>	<b>21,409</b>
	650408500	Utility tax equivalent	(9,460)	(10,386)	(8,349)	(8,349)	0	(8,349)	(875)	(10,500)
	650408591	Pscw advance assessment	4,411	3,121	4,500	4,500	4,634	4,634	399	4,700
	XCYESTSB1	Current Year Estimated Social Security	0	0	0	0	0	20,000	0	0
=	<b>W408</b>	<b>Taxes</b>	<b>6,922</b>	<b>10,859</b>	<b>20,409</b>	<b>20,409</b>	<b>18,840</b>	<b>16,285</b>	<b>1,308</b>	<b>15,609</b>
=	<b>W601</b>	<b>Purchased Water</b>	<b>0</b>	<b>0</b>	<b>0</b>	<b>0</b>	<b>0</b>	<b>0</b>	<b>0</b>	<b>0</b>
+	650602290	Purchased Water	1,346,228	1,426,191	1,394,000	1,394,000	1,012,031	1,315,567	1,425,000	1,425,000
	650602291	Public Fire Protectin	62,609	62,609	62,609	62,609	55,191	73,860	74,676	74,676
=	<b>W602</b>	<b>Purchased Water</b>	<b>1,408,836</b>	<b>1,488,800</b>	<b>1,456,609</b>	<b>1,456,609</b>	<b>1,067,222</b>	<b>1,389,427</b>	<b>1,499,676</b>	<b>1,499,676</b>
=	<b>650620110</b>	<b>Salaries</b>	<b>0</b>	<b>55</b>	<b>0</b>	<b>0</b>	<b>313</b>	<b>0</b>	<b>0</b>	<b>0</b>
=	<b>650620111</b>	<b>Part time salaries</b>	<b>0</b>	<b>20</b>	<b>0</b>	<b>0</b>	<b>(20)</b>	<b>0</b>	<b>0</b>	<b>0</b>
=	<b>650620112</b>	<b>Overtime salaries</b>	<b>0</b>	<b>0</b>	<b>0</b>	<b>0</b>	<b>75</b>	<b>0</b>	<b>0</b>	<b>0</b>
	650620199	Personnel Transfers	0	0	0	0	0	0	0	0
!	CYESTS620	Current Year Estimated Salaries & Benefits	0	0	0	0	0	368	0	0
=	<b>W620</b>	<b>Pumping - Supervision/Engineering</b>	<b>0</b>	<b>76</b>	<b>0</b>	<b>0</b>	<b>368</b>	<b>368</b>	<b>0</b>	<b>0</b>
	650623220	Electric	107,998	97,746	95,000	95,000	73,874	88,613	7,924	95,000
+	650623357	Fuel	15,720	17,229	10,000	10,000	6,516	8,254	837	10,000

		ACTUAL 2011	ACTUAL 2012	H4Y201312	AMEND 2013	ACTUAL 2013	EST2013	DEPT2014	DEPTREQ14	
	ACCOUNT	Label	Actuals 2011	Actuals 2012	Original Budget 2013	Amended Budget 2013	Actuals 2013	Estimate 2013	Non HR Request	Total Department Request
=	W623	Pumping - Fuel or Power for pumping	123,718	114,974	105,000	105,000	80,390	96,867	8,761	105,000
=	650624110	Salaries	7,161	8,322	29,546	29,546	201	0	1,785	21,425
=	650624111	Part time salaries	2,385	649	1,945	1,945	152	0	168	2,020
=	650624112	Overtime Salaries	2,399	883	1,852	1,852	0	0	158	1,892
	650624199	Personnel Transfer	0	0	0	0	0	0	0	0
	650624202	Occupational health evaluations	0	0	0	0	0	0	0	0
+	650624214	Consultant/contractual service	15,511	5,441	5,000	5,000	1,100	3,000	424	5,000
	650624221	Natural Gas	2,838	1,852	3,200	3,200	2,071	2,848	274	3,200
	650624222	Municipal Sewer	158	163	160	160	124	163	17	160
	650624223	Municipal Water	1,400	1,413	1,500	1,500	1,073	1,430	125	1,500
	650624224	Telephone Services	2,336	1,920	2,100	2,100	1,705	1,860	155	1,860
	650624229	Clean Water	1,757	1,667	1,700	1,700	1,251	1,680	140	1,680
	650624399	Miscellaneous Expense	1,091	0	500	500	0	0	49	500
+	650624905	Internal Service Fund	5,409	957	3,000	3,000	321	375	279	3,238
	CYESTS624	Current Year Estimated Salaries & Benefits	0	0	0	0	0	662	0	0
=	W624	Pumping - Labor & Expenses	42,444	23,266	50,503	50,503	7,997	12,018	3,575	42,476
=	W625	Pumping - Maintenance Equipment	0	0	0	0	0	0	0	0
=	650633110	Salaries	642	(81)	5,400	5,400	(2,419)	0	741	8,890
	650633111	Part Time Salaries	0	0	0	0	34	0	0	0
=	650633112	Overtime Salaries	0	0	1,000	1,000	126	0	83	1,000
+	650633214	Consultant/Contractual Service	8,102	0	5,000	5,000	3,629	3,629	424	5,000
+	650633242	Contracted Equip Maintenance	0	7,403	8,000	8,000	7,722	7,722	674	8,000
+	650633362	Equipment maintenance supplies	1,736	3,318	5,000	5,000	2,030	3,000	424	5,000
	650633905	Internal Service Fund	0	4	0	0	278	827	49	500
	CYESTS633	Current Year Estimated Salaries & Benefits	0	0	0	0	0	(900)	0	0
=	W633	Pumping - Maintenance Equipment	10,480	10,644	24,400	24,400	11,400	14,278	2,395	28,390
=	650660110	Salaries	3,765	35,173	42,537	42,537	29,928	0	2,047	24,513
	CYESTS660	Current Year Estimated Salaries & Benefits	0	0	0	0	0	36,000	0	0
=	W660	Trans/Dist Operation Supervision & Engineering	3,765	35,173	42,537	42,537	29,928	36,000	2,047	24,513
=	650661110	Salaries	6,320	7,075	9,720	9,720	(610)	0	529	6,350
=	650661111	Parttime Salaries	2,276	3,358	973	973	1,737	0	84	1,011
=	650661112	Overtime Salaries	431	359	0	0	0	0	0	0
	650661199	Personnel Transfer	0	0	0	0	0	0	0	0
	650661205	Publication of notices/agendas	26	0	25	25	0	0	3	25
	650661212	Engineering Services	0	0	0	0	0	0	0	0

		ACTUAL 2011	ACTUAL 2012	H4Y201312	AMEND 2013	ACTUAL 2013	EST2013	DEPT2014	DEPTREQ14	
	ACCOUNT	Label	Actuals 2011	Actuals 2012	Original Budget 2013	Amended Budget 2013	Actuals 2013	Estimate 2013	Non HR Request	Total Department Request
+	650661214	Consultant/Contractual Service	3,797	6,846	10,700	10,700	7,930	7,929	587	7,000
	650661220	Electric	1,350	2,306	1,300	1,300	1,975	2,229	200	2,400
+	650661335	Lab Supplies	595	1,451	1,500	1,500	1,234	1,234	125	1,500
+	650661362	Equipment Maintenance Supplies	1,085	4,792	5,000	5,000	10,076	10,235	424	5,000
	650661364	Building Maintenance Supplies	3,470	1,364	1,500	1,500	2,046	2,618	174	2,000
	650661370	Landscaping Supplies	0	302	500	500	0	0	49	500
	650661399	Misc Expense	0	0	100	100	0	0	12	100
+	650661905	Internal Service Fund	4,742	7,729	7,000	7,000	3,928	4,220	587	7,000
	CYESTS661	Current Year Estimated Salaries & Benefits	0	0	0	0	0	1,314	0	0
=	W661	Trans/Dist - Storage Facilities Expense	24,093	35,580	38,318	38,318	28,316	29,779	2,774	32,886
=	650662110	Salaries	38,246	34,122	52,867	52,867	28,758	0	3,704	44,449
=	650662111	Part-time salaries	3,698	7,932	8,606	8,606	9,081	0	1,587	19,050
=	650662112	Overtime salaries	1,977	1,969	1,000	1,000	904	0	83	1,000
	650662199	Personnel Transfer	0	0	0	0	0	0	0	0
	650662205	Publication of notices/agendas	47	0	350	350	0	0	25	300
	650662212	Engineering Services	0	0	500	500	0	0	49	500
+	650662214	Consultant/contractual services	3,778	622	1,000	1,000	819	1,000	87	1,000
	650662261	Meals & Lodging	0	0	112	112	88	88	13	112
	650662262	Conferences/Seminars	762	1,095	1,500	1,500	685	685	125	1,500
+	650662362	Equipment Maintenance supplies	5,908	2,432	3,000	3,000	1,297	1,900	250	3,000
	650662364	Building Maintenance supplies	0	0	0	0	0	0	0	0
	650662399	Misc Expense	243	0	200	200	84	84	24	200
	650662905	Internal Service Fund	21,564	21,501	23,000	23,000	17,117	22,574	0	0
	CYESTS662	Current Year Estimated Salaries & Benefits	0	0	0	0	0	53,000	0	0
=	W662	Trans/Dist - Mains, Services & Hydrants	76,223	69,672	92,135	92,135	58,834	79,331	5,948	71,111
=	650663110	Salaries	61	28	3,240	3,240	(312)	0	265	3,175
=	650663111	Part-time salaries	0	0	0	0	0	0	0	0
=	650663112	Overtime salaries	0	0	0	0	0	0	0	0
	650663199	Personnel Transfer	0	0	0	0	0	0	0	0
	650663362	Equipment maintenance supplies	47	(4)	1,000	1,000	267	267	87	1,000
	650663399	Misc Expense	97	0	150	150	0	0	18	150
	650663905	Internal Service Fund	0	0	0	0	0	0	0	0
	CYESTS663	Current Year Estimated Salaries & Benefits	0	0	0	0	0	(311)	0	0
=	W663	Trans/Dist - Meter Expenses	205	23	4,390	4,390	(45)	(44)	370	4,325
	650665220	Electric	2,586	1,410	1,500	1,500	1,372	1,678	125	1,500
=	W665	Trans/Dist - Misc Expense	2,586	1,410	1,500	1,500	1,372	1,678	125	1,500
=	650670110	Salaries	83	32,190	35,239	35,239	28,706	0	1,426	17,117

		ACTUAL 2011	ACTUAL 2012	H4Y201312	AMEND 2013	ACTUAL 2013	EST2013	DEPT2014	DEPTREQ14	
	ACCOUNT	Label	Actuals 2011	Actuals 2012	Original Budget 2013	Amended Budget 2013	Actuals 2013	Estimate 2013	Non HR Request	Total Department Request
	CYESTS670	Current Year Estimated Salaries & Benefits	0	0	0	0	0	34,000	0	0
=	W670	Maintenance - Supervision & Engineering	83	32,190	35,239	35,239	28,706	34,000	1,426	17,117
=	650672110	Salaries	26	3	432	432	1,641	0	176	2,117
	650672205	Publication of notices/agendas	0	0	0	0	0	0	0	0
	650672212	Engineering Fees	0	0	500	500	0	0	49	500
+	650672214	Consultant/contractual service	5,197	6,543	16,600	16,600	0	0	0	0
	650672821	Construction - Contractor	0	0	0	0	0	0	0	0
	650672905	Internal Service Fund	0	0	0	0	1,062	1,178	100	1,200
	CYESTS672	Current Year Estimated Salaries & Benefits	0	0	0	0	0	3,500	0	0
=	W672	Maintenance - Distribution Reservoir	5,223	6,546	17,532	17,532	4,504	4,678	325	3,817
=	650673110	Salaries	5,188	7,643	20,088	20,088	15,233	0	1,820	21,844
=	650673111	Part time Salaries	515	630	3,672	3,672	2,520	0	296	3,556
=	650673112	Overtime salaries	4,000	1,821	5,000	5,000	4,417	0	417	5,000
+	650673214	Consultant/Contractual Service	0	14,033	0	0	0	0	174	2,000
+	650673362	Equipment maintenance supplies	15,332	21,821	15,000	15,000	15,872	17,400	1,674	20,000
+	650673800	Construction Materials	1,247	0	0	0	0	0	0	0
	650673905	Internal Service Fund	13,505	7,899	7,500	7,500	20,043	22,730	1,674	20,000
	CYESTS673	Current Year Estimated Salaries & Benefits	0	0	0	0	0	26,000	0	0
=	W673	Maintenance - Mains	39,786	53,849	51,260	51,260	58,086	66,130	6,055	72,400
=	650675110	Salaries	14,519	12,904	10,260	10,260	6,191	0	754	9,049
=	650675111	Part Time Salaries	1,964	460	540	540	298	0	40	476
=	650675112	Overtime Salaries	3,272	873	1,000	1,000	760	0	83	1,000
+	650675214	Consultant/contractual services	2,000	25,755	20,000	20,000	32,848	39,000	2,500	30,000
+	650675362	Equipment maintenance supplies	9,390	2,311	3,000	3,000	310	310	250	3,000
	650675905	Internal Service Fund	21,270	8,309	8,000	8,000	6,089	7,042	674	8,000
	CYESTS675	Current Year Estimated Salaries & Benefits	0	0	0	0	0	9,500	0	0
=	W675	Maintenance - Services	52,416	50,612	42,800	42,800	46,496	55,852	4,301	51,525
=	650676110	Salaries	6,989	8,030	14,515	14,515	15,825	0	1,383	16,594
=	650676111	Part-time salaries	319	254	605	605	236	0	28	339
=	650676112	Overtime salaries	269	201	100	100	873	0	8	100
+	650676214	Consultant/contractual services	2,642	8,140	9,000	9,000	9,999	10,000	750	9,000
	650676350	Minor equipment/tool replacement	450	85	100	100	413	413	12	100
	650676362	Equipment maintenance supplies	497	1,023	1,000	1,000	1,243	2,000	125	1,500
	650676364	Building maintenance supplies	0	0	0	0	0	0	0	0
	650676905	Internal Service Fund	3,468	2,037	4,000	4,000	3,166	3,794	337	4,000
	CYESTS676	Current Year Estimated Salaries & Benefits	0	0	0	0	0	20,000	0	0
=	W676	Maintenance - Meters	14,635	19,771	29,320	29,320	31,756	36,207	2,643	31,633

		ACTUAL 2011	ACTUAL 2012	H4Y201312	AMEND 2013	ACTUAL 2013	EST2013	DEPT2014	DEPTREQ14	
	ACCOUNT	Label	Actuals 2011	Actuals 2012	Original Budget 2013	Amended Budget 2013	Actuals 2013	Estimate 2013	Non HR Request	Total Department Request
=	650677110	Salaries	5,973	13,297	7,603	7,603	2,578	0	505	6,061
=	650677111	Part-time salaries	802	1,154	1,037	1,037	1,101	0	227	2,723
=	650677112	Overtime salaries	263	631	500	500	143	0	42	500
	650677350	Minor equipment/tool replacement	0	0	0	0	0	0	0	0
	650677362	Equipment maintenance supplies	5,962	6,977	6,000	6,000	974	1,900	424	5,000
	650677905	Internal Service Fund	6,858	13,118	13,000	13,000	3,487	3,947	587	7,000
	CYESTS677	Current Year Estimated Salaries & Benefits	0	0	0	0	0	5,000	0	0
=	W677	Maintenance - Hydrants	19,858	35,176	28,140	28,140	8,282	10,847	1,785	21,284
=	W678	Maintenance - Miscellaneous Plant	0	0	0	0	0	0	0	0
=	W901	Meter Reading Labor	0	0	200	0	0	0	0	0
=	650902110	Salaries	14,583	16,584	19,440	19,440	10,284	0	1,367	16,404
=	650902111	Part-time salaries	0	0	0	0	0	0	0	0
=	650902112	Overtime Salaries	21	935	0	200	35	0	17	200
	650902905	Internal Service Fund	6,739	3,160	10,000	10,000	1,667	2,071	250	3,000
	CYESTS902	Current Year Estimated Salaries & Benefits	0	0	0	0	0	14,154	0	0
=	W902	Meter Reading Expenses	21,343	20,678	29,440	29,640	11,986	16,225	1,634	19,604
	650903206	Contractual Printing	875	804	900	900	746	746	75	900
	650903312	Postage	4,504	4,346	4,900	4,900	3,128	4,900	412	4,900
+	650903199	Personnel Transfer	6,412	5,003	5,295	5,295	4,528	5,403	400	4,679
=	W903	Customer Records and Collection	11,791	10,153	11,095	11,095	8,402	11,049	887	10,479
=	650920110	Salaries	30,070	33,751	32,567	32,567	19,829	0	2,676	32,115
=	650920111	Part - time salaries	0	5,100	5,617	5,617	4,712	0	824	9,890
=	650920112	Overtime salaries	0	0	0	0	0	0	0	0
=	650920153	Workers compensation	0	0	0	0	512	0	0	0
+	650920199	Personnel Transfers	104,303	108,321	111,844	111,844	89,612	107,831	8,332	99,544
	650920200	Temporary help	0	0	0	0	0	0	0	0
	650920201	Unemployment	2,670	2,545	1,208	1,208	978	1,173	825	825
	650920260	Travel	0	1,684	0	0	449	449	49	500
	650920261	Meals & lodging	4	59	0	0	10	10	12	100
+	650920262	Conferences/seminars/training	407	0	2,500	2,500	1,717	1,717	212	2,500
	CYESTS920	Current Year Estimated Salaries & Benefits	0	0	0	0	0	57,000	0	0
=	W920	Administrative - General Salaries	137,454	151,460	153,736	153,736	117,818	168,180	12,930	145,474
	650921205	Publication of notices/agendas	174	171	250	250	43	155	30	250
+	650921206	Contractual printing	713	5,973	1,000	1,000	0	5,350	424	5,000

		ACTUAL 2011	ACTUAL 2012	H4Y201312	AMEND 2013	ACTUAL 2013	EST2013	DEPT2014	DEPTREQ14	
	ACCOUNT	Label	Actuals 2011	Actuals 2012	Original Budget 2013	Amended Budget 2013	Actuals 2013	Estimate 2013	Non HR Request	Total Department Request
	650921216	Legislative Services	462	824	400	400	166	166	37	400
	650921225	Cellular Telephone	1,361	1,614	1,800	1,800	1,244	1,800	150	1,800
	650921226	Data/Voice Communications	0	360	0	0	0	0	0	0
	650921232	Facility lease	17,719	17,719	17,719	17,719	0	17,719	1,483	17,719
	650921241	Software maintenance agreement	641	708	708	708	589	589	50	600
	650921242	Contracted equipment maintenance	85	0	85	85	0	0	0	0
	650921261	Meals & Lodging	66	631	630	630	1,273	1,273	74	800
	650921262	Conferences/seminars/training	178	2,295	2,295	2,295	1,231	1,231	194	2,295
	650921300	Memberships & subscriptions	2,171	1,169	1,600	1,600	1,612	1,612	138	1,612
	650921310	Office supplies	98	254	400	400	153	200	37	400
	650921311	Copying/Printing	758	727	1,000	1,000	486	1,000	87	1,000
	650921312	Postage	1,426	2,140	2,125	2,125	1,424	2,125	178	2,125
	650921350	Minor equipment/tool replacemt	1,268	77	100	100	0	333	12	100
	650921352	Uniform services & uniforms	401	978	1,000	1,000	276	400	87	1,000
	650921353	Safety Equipment	815	1,716	1,800	1,800	862	2,000	150	1,800
	650921355	Janitorial/cleaning supplies	0	0	200	200	0	0	0	0
	650921399	Miscellaneous expense	340	338	333	333	0	0	30	250
+	650921901	Non Personnel Transfer	42,500	42,500	56,261	56,261	46,909	56,261	3,324	39,800
=	W921	Office Supplies and Expenses	71,176	80,194	89,706	89,706	56,269	92,214	6,485	76,951
+	650923210	Attorney fees	275	4,973	5,000	5,000	75,109	75,109	174	2,000
+	650923211	Accounting & auditing fees	8,670	5,678	5,000	5,000	64,765	64,765	0	0
+	650923212	Engineering fees	13,648	841	1,000	1,000	29,423	29,423	0	0
	650923213	Network consultants	0	0	0	0	0	0	0	0
+	650923214	Consultant/contractual service	24,982	23,264	19,000	19,000	18,971	28,906	2,172	25,800
	650923241	Software maintenance agreement	0	0	0	0	0	0	0	0
	650923399	Miscellaneous expense	0	0	0	0	0	0	0	0
=	W923	Outside Services Employed	47,574	34,755	30,000	30,000	188,269	198,203	2,346	27,800
+	650924510	Property & liability insurance	10,765	12,341	11,950	11,950	13,300	13,603	13,650	13,650
=	W924	Property & Liability Insurance	10,765	12,341	11,950	11,950	13,300	13,603	13,650	13,650
=	650926152	Wisconsin retirement	12,815	13,880	21,087	21,087	11,488	0	1,633	19,590
=	650926153	Workers comp	6,364	7,582	11,780	11,780	7,457	0	862	10,347
=	650926154	Health & life benefits	44,532	59,032	77,431	77,431	55,725	0	5,349	64,182
=	650926158	Long - term disability insurance	11	10	90	90	8	0	10	123
	650926159	Retiree Medical Benefits	5,923	2,638	11,270	11,270	9,391	11,270	941	11,270
	XCYESTSB2	Current Year Estimated Benefits	0	0	0	0	0	94,000	0	0
=	W926	Employee Pensions and Benefits	69,646	83,142	121,659	121,658	84,069	105,270	8,795	105,512

		ACTUAL 2011	ACTUAL 2012	H4Y201312	AMEND 2013	ACTUAL 2013	EST2013	DEPT2014	DEPTREQ14	
	ACCOUNT	Label	Actuals 2011	Actuals 2012	Original Budget 2013	Amended Budget 2013	Actuals 2013	Estimate 2013	Non HR Request	Total Department Request
+	650930990	New program requests	0	0	0	0	0	0	(11)	(88)
=	650930991	New program request - Personnel	0	0	0	0	0	0	2,245	26,943
=	W930	Miscellaneous General Exp	0	0	0	0	0	0	2,234	26,855
=	W933	Water Transportation Expense	0	0	0	0	0	0	0	0
=	WOPEXP	Water Utility Total Operating Expense	3,212,806	3,381,504	3,498,878	3,498,877	1,962,566	3,499,445	1,675,900	3,450,588
=	WOPGAIN	Water Utility Operating Gain	552,696	948,414	599,105	599,106	1,595,320	753,964	2,546,024	775,912
		<b>Non Operating Revenue</b>								
+	481103000	Gain/Loss on Sale	0	10,540	0	0	(28,965)	(28,965)	0	0
	484190000	Interest on Investments	7,266	6,094	6,000	6,000	2,146	5,000	375	4,500
	484191000	Interest on Special Assessments	11,429	19,543	25,239	25,239	10,804	16,190	16,149	16,149
	484192000	Interest Expense - Late Payments	23,802	24,242	20,000	20,000	11,942	21,455	1,799	21,500
	484195000	Amorization of Bond Premium	4,366	3,391	933	933	0	933	86	933
=	WINT	Water Utility Non-Operating Revenue	46,863	63,811	52,172	52,172	(4,073)	14,613	18,409	43,082
		<b>Non-Operating Expenses</b>								
	960427605	Amortization of issuance expense	6,586	5,877	4,070	4,070	0	0	0	0
	960427620	Interest on long-term debt	38,327	26,342	15,690	15,690	12,113	15,690	749	8,988
	960427622	Interest on lease	0	0	0	0	0	0	0	0
=	WNONOP	Water Utility Non-Operating Expenses	(44,913)	(32,219)	(19,760)	(19,760)	(12,113)	(15,690)	(749)	(8,988)
=	GBCONT	Gain Before Contributions	554,647	980,006	631,517	631,518	1,579,133	752,887	2,563,684	810,006
	492421000	Capital Contributions	6,281	203,708	0	0	0	0	0	0
	492001000	Capital Contributions - Govt Activiies	0	0	0	0	0	0	0	0
	900	Transfer Out	115,562	119,361	116,875	116,875	93,163	116,875	9,746	116,875
	970930902	Transfer Out - ISF	0	0	0	0	0	0	0	0
	970930903	Transfer Out - Tax Equivalent	843,323	893,154	893,155	893,155	0	939,177	78,273	939,177
	650408999	Transfers-Tax Equivalent	0	0	0	0	0	0	0	0
=	NACHANGE	Change in Net Assets	(397,958)	171,198	(378,513)	(378,512)	1,485,970	(303,165)	2,475,665	(246,046)
		<b>Salaries &amp; Benefits Summary</b>								
=	WSALARIES	Salaries	134,269	209,015	288,854	288,854	153,728	0	19,920	238,993
=	WPTSALARIES	Part-Time Salaries	0	5,120	5,617	5,617	6,442	0	824	9,890
=	WOSALARIES	Overtime Salaries	0	0	1,200	1,000	286	0	83	1,000

		ACTUAL 2011	ACTUAL 2012	H4Y201312	AMEND 2013	ACTUAL 2013	EST2013	DEPT2014	DEPTREQ14	
	ACCOUNT	Label	Actuals 2011	Actuals 2012	Original Budget 2013	Amended Budget 2013	Actuals 2013	Estimate 2013	Non HR Request	Total Department Request
=	WTSALARIES	Total Salaries	134,269	214,135	295,671	295,471	160,457	0	20,827	249,883
=	TOT199	Personnel Transfers Salaries	104,303	108,321	111,844	111,844	89,612	107,831	8,332	99,544
=	ADJSALARIES	Adjusted Salaries	238,573	322,455	407,515	407,315	250,069	107,831	29,159	349,427
=	WSSSALARIES	Social Security	11,971	18,124	24,258	24,258	14,206	20,000	1,784	21,409
=	WRSALARIES	Retirement	12,815	13,880	21,087	21,087	11,488	0	1,633	19,590
=	WWCSALARIES	Workers Comp	6,364	7,582	11,780	11,780	7,968	0	862	10,347
=	WHLSALARIES	Health & Life	44,532	59,032	77,431	77,431	55,725	0	5,349	64,182
=	WRMSALARIES	Retiree Medical Benefits	5,923	2,638	11,270	11,270	9,391	11,270	941	11,270
=	WLTDALARIES	Long Term Disability	11	10	90	90	8	0	10	123
=	WTBENEFITS	Total Benefits	81,617	101,266	145,917	145,916	98,787	31,270	10,579	126,922
	TOT199B	Personnel Transfers Benefits	0	0	0	0	0	0	0	0
=	ADJBENFTS		81,617	101,266	145,917	145,916	98,787	31,270	10,579	126,922
=	TCYESTSB	Current Year Estimated Salaries & Benefits	0	0	0	0	0	374,187	0	0
=	TOTSLBEN	Total Salaries & Benefits	320,189	423,721	553,432	553,231	348,856	513,288	39,739	476,349
		Percent of Labor Dollars								
=	PSS	Social Security	9	8	98	8	9	0	9	103
=	PRETIREMENT	Retirement	10	6	86	7	7	0	8	94
=	PWORKERCOMP	Workers Comp	5	4	48	4	5	0	4	50
=	PHEALTH	Health Insurance	33	28	314	26	35	0	26	308
=	PWTOTAL	Water Total	56	46	546	46	56	0	46	555



		ACTUAL 2011	ACTUAL 2012	H4Y201312	AMEND 2013	ACTUAL 2013	EST2013	DEPT2014	DEPTREQ14	
	ACCOUNT	Label	Actuals 2011	Actuals 2012	Original Budget 2013	Amended Budget 2013	Actuals 2013	Estimate 2013	Non HR Request	Total Department Request
		<b>WATER OPERATING REVENUES</b>								
	464602000	Bulk water sales	14,732	14,721	10,000	10,000	1,559	10,000	10,000	10,000
+	464611000	Residential meter sales	1,298,464	1,565,926	1,449,427	1,449,427	1,228,086	1,444,478	1,544,000	1,544,000
	1	Q1	0	0	310,305	0	1,228,086	304,659	326,000	326,000
	2	Q2	0	0	346,658	0	0	336,526	375,000	375,000
	3	Q3	0	0	469,006	0	0	467,116	500,000	500,000
	4	Q4	0	0	323,458	0	0	336,177	343,000	343,000
	5	Rate Increase 11% (2nd through 4th Qtr)	0	0	0	0	0	0	0	0
	*	Amount missing from detail	1,298,464	1,565,926	0	1,449,427	0	0	0	0
+	464612000	Commercial meter sales	423,663	483,613	454,373	454,373	408,960	490,514	494,000	494,000
	1	Q1	0	0	97,476	0	408,960	100,730	106,000	106,000
	2	Q2	0	0	108,140	0	0	113,212	119,000	119,000
	3	Q3	0	0	145,411	0	0	148,780	153,000	153,000
	4	Q4	0	0	103,346	0	0	127,792	116,000	116,000
	5	Rate Increase 7% (2nd through 4th Qtr)	0	0	0	0	0	0	0	0
	*	Amount missing from detail	423,663	483,613	0	454,373	0	0	0	0
+	464613000	Industrial meter sales	1,003,234	1,142,700	1,110,781	1,110,781	916,109	1,107,684	1,056,000	1,056,000
	1	Q1	0	0	250,000	0	916,109	221,542	246,000	246,000
	2	Q2	0	0	250,000	0	0	242,674	266,000	266,000
	3	Q3	0	0	350,000	0	0	347,147	272,000	272,000
	4	Q4	0	0	260,781	0	0	296,321	272,000	272,000
	5	Rate Increase - 3% - All except WE Energies 6"	0	0	0	0	0	0	0	0
	6	Rate Increase - We Energies	0	0	0	0	0	0	0	0
	*	Amount missing from detail	1,003,234	1,142,700	0	1,110,781	0	0	0	0
+	464614000	Public authority meter sales	65,301	83,337	69,313	69,313	66,504	76,268	80,000	80,000
	1	Q1	0	0	15,018	0	66,504	13,406	17,000	17,000
	2	Q2	0	0	14,886	0	0	15,154	18,000	18,000
	3	Q3	0	0	21,939	0	0	28,132	26,000	26,000
	4	Q4	0	0	17,470	0	0	19,576	19,000	19,000
	5	Rate Increase 6% - 2nd through 4th Qtr	0	0	0	0	0	0	0	0
	*	Amount missing from detail	65,301	83,337	0	69,313	0	0	0	0
+	464620000	Private fire protection	60,228	83,343	90,492	90,492	76,498	91,962	92,000	92,000
	1	Original Amount	0	0	90,492	0	76,498	91,962	92,000	92,000
	2	Rate Increase (2nd - 4th Qtr)	0	0	0	0	0	0	0	0
	*	Amount missing from detail	60,228	83,343	0	90,492	0	0	0	0
+	464630000	Public fire protection	772,287	827,970	789,227	789,227	676,319	817,916	818,300	818,300
	1	Original	0	0	789,227	0	676,319	817,916	818,300	818,300
	2	Rate Increase (2nd -4th Qtr) 8%	0	0	0	0	0	0	0	0
	*	Amount missing from detail	772,287	827,970	0	789,227	0	0	0	0
=	<b>WSALES</b>	<b>Water Utility Sales</b>	<b>3,637,909</b>	<b>4,201,610</b>	<b>3,973,613</b>	<b>3,973,613</b>	<b>3,374,035</b>	<b>4,038,822</b>	<b>4,094,300</b>	<b>4,094,300</b>

		ACTUAL 2011	ACTUAL 2012	H4Y201312	AMEND 2013	ACTUAL 2013	EST2013	DEPT2014	DEPTREQ14	
	ACCOUNT	Label	Actuals 2011	Actuals 2012	Original Budget 2013	Amended Budget 2013	Actuals 2013	Estimate 2013	Non HR Request	Total Department Request
	464720000	Tower lease revenue	115,562	119,659	119,370	119,370	126,019	119,686	127,200	127,200
+	464740000	Other Water Revenue	12,031	8,649	5,000	5,000	57,832	94,900	424	5,000
	1	Antenna Payment - Verizon	0	0	0	0	0	56,720	0	0
	2	Antenna Payment - Sprint	0	0	0	0	0	17,640	0	0
	3	Anetenna Payment - Cricket	0	0	0	0	0	20,540	0	0
	4	Other	0	0	0	0	0	0	424	5,000
	*	Amount missing from detail	12,031	8,649	5,000	5,000	57,832	0	0	0
=	WOPREV	Water Utility Total Operating Revenue	3,765,502	4,329,918	4,097,983	4,097,983	3,557,886	4,253,408	4,221,924	4,226,500
		<b>WATER OPERATING EXPENSES</b>								
	650403600	Depreciation expense	532,554	519,291	532,000	532,000	0	532,000	43,337	520,000
	650403601	Depreciation - contributed asset	479,230	480,869	479,000	479,000	0	479,000	40,087	481,000
=	W403	Depreciation Expense	1,011,784	1,000,161	1,011,000	1,011,000	0	1,011,000	83,424	1,001,000
=	650408151	Social security	11,971	18,124	24,258	24,258	14,206	0	1,784	21,409
	650408500	Utility tax equivalent	(9,460)	(10,386)	(8,349)	(8,349)	0	(8,349)	(875)	(10,500)
	650408591	Pscw advance assessment	4,411	3,121	4,500	4,500	4,634	4,634	399	4,700
	XCYESTSB1	Current Year Estimated Social Security	0	0	0	0	0	20,000	0	0
=	W408	Taxes	6,922	10,859	20,409	20,409	18,840	16,285	1,308	15,609
=	W601	Purchased Water	0	0	0	0	0	0	0	0
+	650602290	Purchased Water	1,346,228	1,426,191	1,394,000	1,394,000	1,012,031	1,315,567	1,425,000	1,425,000
	1	Q1	0	0	285,000	0	0	269,098	303,000	303,000
	2	Q2	0	0	323,000	0	0	296,460	355,000	355,000
	3	Q3	0	0	402,000	0	0	435,509	463,000	463,000
	4	Q4	0	0	384,000	0	0	314,500	304,000	304,000
	5	New Construction	0	0	0	0	0	0	0	0
	*	Amount missing from detail	1,346,228	1,426,191	0	1,394,000	1,012,031	0	0	0
	650602291	Public Fire Protectin	62,609	62,609	62,609	62,609	55,191	73,860	74,676	74,676
=	W602	Purchased Water	1,408,836	1,488,800	1,456,609	1,456,609	1,067,222	1,389,427	1,499,676	1,499,676
=	650620110	Salaries	0	55	0	0	313	0	0	0
=	650620111	Part time salaries	0	20	0	0	(20)	0	0	0
=	650620112	Overtime salaries	0	0	0	0	75	0	0	0
	650620199	Personnel Transfers	0	0	0	0	0	0	0	0
!	CYESTS620	Current Year Estimated Salaries & Benefits	0	0	0	0	0	368	0	0
=	W620	Pumping - Supervision/Engineering	0	76	0	0	368	368	0	0
	650623220	Electric	107,998	97,746	95,000	95,000	73,874	88,613	7,924	95,000

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+	650623357	Fuel	15,720	17,229	10,000	10,000	6,516	8,254	837	10,000
	1	Generator Fuel - Sheridan Booster	0	0	0	0	0	8,254	837	10,000
	2	Other	0	0	10,000	0	0	0	0	0
	*	Amount missing from detail	15,720	17,229	0	10,000	6,516	0	0	0
=	W623	Pumping - Fuel or Power for pumping	123,718	114,974	105,000	105,000	80,390	96,867	8,761	105,000
=	650624110	Salaries	7,161	8,322	29,546	29,546	201	0	1,785	21,425
=	650624111	Part time salaries	2,385	649	1,945	1,945	152	0	168	2,020
=	650624112	Overtime Salaries	2,399	883	1,852	1,852	0	0	158	1,892
	650624199	Personnel Transfer	0	0	0	0	0	0	0	0
	650624202	Occupational health evaluations	0	0	0	0	0	0	0	0
+	650624214	Consultant/contractual service	15,511	5,441	5,000	5,000	1,100	3,000	424	5,000
	1	New Roof Lakeview Booster	0	0	0	0	0	0	0	0
	2	Wired & Program Rain Gauge	0	0	0	0	0	0	0	0
	3	Sheridan Rd Booster - Heater Repaire	0	0	0	0	0	0	0	0
	4	Electric	0	0	0	0	0	0	0	0
	5	Switch Assemb / Sheridan - Midwest Water Group	0	0	0	0	0	0	0	0
	6	Other	0	0	5,000	0	0	3,000	424	5,000
	7	Check BS Pumps 3&4/ Sheridan - Water Well Solutions	0	0	0	0	0	0	0	0
	*	Amount missing from detail	15,511	5,441	0	5,000	1,100	0	0	0
	650624221	Natural Gas	2,838	1,852	3,200	3,200	2,071	2,848	274	3,200
	650624222	Municipal Sewer	158	163	160	160	124	163	17	160
	650624223	Municipal Water	1,400	1,413	1,500	1,500	1,073	1,430	125	1,500
	650624224	Telephone Services	2,336	1,920	2,100	2,100	1,705	1,860	155	1,860
	650624229	Clean Water	1,757	1,667	1,700	1,700	1,251	1,680	140	1,680
	650624399	Miscellaneous Expense	1,091	0	500	500	0	0	49	500
+	650624905	Internal Service Fund	5,409	957	3,000	3,000	321	375	279	3,238
	1	Parks Mowing Allocation	0	0	0	0	0	375	279	3,238
	*	Amount missing from detail	5,409	957	3,000	3,000	321	0	0	0
	CYESTS624	Current Year Estimated Salaries & Benefits	0	0	0	0	0	662	0	0
=	W624	Pumping - Labor & Expenses	42,444	23,266	50,503	50,503	7,997	12,018	3,575	42,476
=	W625	Pumping - Maintenance Equipment	0	0	0	0	0	0	0	0
=	650633110	Salaries	642	(81)	5,400	5,400	(2,419)	0	741	8,890
	650633111	Part Time Salaries	0	0	0	0	34	0	0	0
=	650633112	Overtime Salaries	0	0	1,000	1,000	126	0	83	1,000
+	650633214	Consultant/Contractual Service	8,102	0	5,000	5,000	3,629	3,629	424	5,000
	3	Great Lakes	0	0	0	0	0	0	0	0
	4	ITT Flygt Corp	0	0	0	0	0	0	0	0
	5	Other	0	0	5,000	0	0	0	424	5,000

		ACTUAL 2011	ACTUAL 2012	H4Y201312	AMEND 2013	ACTUAL 2013	EST2013	DEPT2014	DEPTREQ14	
	ACCOUNT	Label	Actuals 2011	Actuals 2012	Original Budget 2013	Amended Budget 2013	Actuals 2013	Estimate 2013	Non HR Request	Total Department Request
	6	Repair to Generators	0	0	0	0	0	3,629	0	0
	7	Pump Motor Control Replacement - Sheridan Booster	0	0	0	0	0	0	0	0
	8	Insurance Reimbursement for Sheridan	0	0	0	0	0	0	0	0
	*	Amount missing from detail	8,102	0	0	5,000	3,629	0	0	0
+	650633242	Contracted Equip Maintenance	0	7,403	8,000	8,000	7,722	7,722	674	8,000
	1	Water Well Solutions	0	0	0	0	0	0	0	0
	2	LS Electric	0	0	0	0	0	7,722	674	8,000
	*	Amount missing from detail	0	7,403	8,000	8,000	7,722	0	0	0
+	650633362	Equipment maintenance supplies	1,736	3,318	5,000	5,000	2,030	3,000	424	5,000
	1	Other	0	0	5,000	0	0	3,000	424	5,000
	2	Line Item 2	0	0	0	0	0	0	0	0
	*	Amount missing from detail	1,736	3,318	0	5,000	2,030	0	0	0
	650633905	Internal Service Fund	0	4	0	0	278	827	49	500
	CYESTS633	Current Year Estimated Salaries & Benefits	0	0	0	0	0	(900)	0	0
=	W633	Pumping - Maintenance Equipment	10,480	10,644	24,400	24,400	11,400	14,278	2,395	28,390
=	650660110	Salaries	3,765	35,173	42,537	42,537	29,928	0	2,047	24,513
	CYESTS660	Current Year Estimated Salaries & Benefits	0	0	0	0	0	36,000	0	0
=	W660	Trans/Dist Operation Supervision & Engineering	3,765	35,173	42,537	42,537	29,928	36,000	2,047	24,513
=	650661110	Salaries	6,320	7,075	9,720	9,720	(610)	0	529	6,350
=	650661111	Parttime Salaries	2,276	3,358	973	973	1,737	0	84	1,011
=	650661112	Overtime Salaries	431	359	0	0	0	0	0	0
	650661199	Personnel Transfer	0	0	0	0	0	0	0	0
	650661205	Publication of notices/agendas	26	0	25	25	0	0	3	25
	650661212	Engineering Services	0	0	0	0	0	0	0	0
+	650661214	Consultant/Contractual Service	3,797	6,846	10,700	10,700	7,930	7,929	587	7,000
	1	Tank inspections - Ladish and Timber	0	0	3,000	0	0	0	0	0
	2	Fence repair 165 water tower	0	0	2,500	0	0	0	0	0
	3	Other	0	0	1,200	0	0	0	587	7,000
	4	SCADA programming	0	0	4,000	0	0	2,872	0	0
	5	Water Well Solutions	0	0	0	0	0	5,057	0	0
	*	Amount missing from detail	3,797	6,846	0	10,700	7,930	0	0	0
	650661220	Electric	1,350	2,306	1,300	1,300	1,975	2,229	200	2,400
+	650661335	Lab Supplies	595	1,451	1,500	1,500	1,234	1,234	125	1,500
	1	Chlorine	0	0	1,500	0	0	1,234	125	1,500
	2	Other	0	0	0	0	0	0	0	0
	*	Amount missing from detail	595	1,451	0	1,500	1,234	0	0	0
+	650661362	Equipment Maintenance Supplies	1,085	4,792	5,000	5,000	10,076	10,235	424	5,000
	1	Other	0	0	0	0	0	0	0	0

		ACTUAL 2011	ACTUAL 2012	H4Y201312	AMEND 2013	ACTUAL 2013	EST2013	DEPT2014	DEPTREQ14	
	ACCOUNT	Label	Actuals 2011	Actuals 2012	Original Budget 2013	Amended Budget 2013	Actuals 2013	Estimate 2013	Non HR Request	Total Department Request
	2	Parts to maintain elevated tanks and revervoirs	0	0	5,000	0	0	10,235	424	5,000
	3	To Match Actuals	0	0	0	0	0	0	0	0
	*	Amount missing from detail	1,085	4,792	0	5,000	10,076	0	0	0
	650661364	Building Maintenance Supplies	3,470	1,364	1,500	1,500	2,046	2,618	174	2,000
	650661370	Landscaping Supplies	0	302	500	500	0	0	49	500
	650661399	Misc Expense	0	0	100	100	0	0	12	100
+	650661905	Internal Service Fund	4,742	7,729	7,000	7,000	3,928	4,220	587	7,000
	1	Parks Mowing Allocation	0	0	0	0	0	4,220	587	7,000
	*	Amount missing from detail	4,742	7,729	7,000	7,000	3,928	0	0	0
	CYESTS661	Current Year Estimated Salaries & Benefits	0	0	0	0	0	1,314	0	0
=	W661	Trans/Dist - Storage Facilities Expense	24,093	35,580	38,318	38,318	28,316	29,779	2,774	32,886
=	650662110	Salaries	38,246	34,122	52,867	52,867	28,758	0	3,704	44,449
=	650662111	Part-time salaries	3,698	7,932	8,606	8,606	9,081	0	1,587	19,050
=	650662112	Overtime salaries	1,977	1,969	1,000	1,000	904	0	83	1,000
	650662199	Personnel Transfer	0	0	0	0	0	0	0	0
	650662205	Publication of notices/agendas	47	0	350	350	0	0	25	300
	650662212	Engineering Services	0	0	500	500	0	0	49	500
+	650662214	Consultant/contractual services	3,778	622	1,000	1,000	819	1,000	87	1,000
	1	Service to Value Pit - Water Well Solutions Service	0	0	0	0	0	0	0	0
	2	Water Test Forms	0	0	0	0	0	0	0	0
	3	Other	0	0	1,000	0	0	1,000	87	1,000
	*	Amount missing from detail	3,778	622	0	1,000	819	0	0	0
	650662261	Meals & Lodging	0	0	112	112	88	88	13	112
	650662262	Conferences/Seminars	762	1,095	1,500	1,500	685	685	125	1,500
+	650662362	Equipment Maintenance supplies	5,908	2,432	3,000	3,000	1,297	1,900	250	3,000
	1	Ken Crete Products	0	0	0	0	0	0	0	0
	2	Other	0	0	3,000	0	0	1,900	250	3,000
	3	Line Item 3	0	0	0	0	0	0	0	0
	*	Amount missing from detail	5,908	2,432	0	3,000	1,297	0	0	0
	650662364	Building Maintenance supplies	0	0	0	0	0	0	0	0
	650662399	Misc Expense	243	0	200	200	84	84	24	200
	650662905	Internal Service Fund	21,564	21,501	23,000	23,000	17,117	22,574	0	0
	CYESTS662	Current Year Estimated Salaries & Benefits	0	0	0	0	0	53,000	0	0
=	W662	Trans/Dist - Mains, Services & Hydrants	76,223	69,672	92,135	92,135	58,834	79,331	5,948	71,111
=	650663110	Salaries	61	28	3,240	3,240	(312)	0	265	3,175
=	650663111	Part-time salaries	0	0	0	0	0	0	0	0
=	650663112	Overtime salaries	0	0	0	0	0	0	0	0
	650663199	Personnel Transfer	0	0	0	0	0	0	0	0
	650663362	Equipment maintenance supplies	47	(4)	1,000	1,000	267	267	87	1,000

		ACTUAL 2011	ACTUAL 2012	H4Y201312	AMEND 2013	ACTUAL 2013	EST2013	DEPT2014	DEPTREQ14	
	ACCOUNT	Label	Actuals 2011	Actuals 2012	Original Budget 2013	Amended Budget 2013	Actuals 2013	Estimate 2013	Non HR Request	Total Department Request
	650663399	Misc Expense	97	0	150	150	0	0	18	150
	650663905	Internal Service Fund	0	0	0	0	0	0	0	0
	CYESTS663	Current Year Estimated Salaries & Benefits	0	0	0	0	0	(311)	0	0
=	W663	Trans/Dist - Meter Expenses	205	23	4,390	4,390	(45)	(44)	370	4,325
	650665220	Electric	2,586	1,410	1,500	1,500	1,372	1,678	125	1,500
=	W665	Trans/Dist - Misc Expense	2,586	1,410	1,500	1,500	1,372	1,678	125	1,500
	650670110	Salaries	83	32,190	35,239	35,239	28,706	0	1,426	17,117
	CYESTS670	Current Year Estimated Salaries & Benefits	0	0	0	0	0	34,000	0	0
=	W670	Maintenance - Supervision & Engineering	83	32,190	35,239	35,239	28,706	34,000	1,426	17,117
	650672110	Salaries	26	3	432	432	1,641	0	176	2,117
	650672205	Publication of notices/agendas	0	0	0	0	0	0	0	0
	650672212	Engineering Fees	0	0	500	500	0	0	49	500
+	650672214	Consultant/contractual service	5,197	6,543	16,600	16,600	0	0	0	0
	1	tower altitude valve maint	0	0	6,000	0	0	0	0	0
	2	Other	0	0	600	0	0	0	0	0
	3	New Program - Wash Water tower exteriors	0	0	10,000	0	0	0	0	0
	*	Amount missing from detail	5,197	6,543	0	16,600	0	0	0	0
	650672821	Construction - Contractor	0	0	0	0	0	0	0	0
	650672905	Internal Service Fund	0	0	0	0	1,062	1,178	100	1,200
	CYESTS672	Current Year Estimated Salaries & Benefits	0	0	0	0	0	3,500	0	0
=	W672	Maintenance - Distribution Reservoir	5,223	6,546	17,532	17,532	4,504	4,678	325	3,817
	650673110	Salaries	5,188	7,643	20,088	20,088	15,233	0	1,820	21,844
=	650673111	Part time Salaries	515	630	3,672	3,672	2,520	0	296	3,556
=	650673112	Overtime salaries	4,000	1,821	5,000	5,000	4,417	0	417	5,000
+	650673214	Consultant/Contractual Service	0	14,033	0	0	0	0	174	2,000
	1	Wilmot Road Resident Clean Up	0	0	0	0	0	0	0	0
	2	Cooper Road Resident Clean Up	0	0	0	0	0	0	0	0
	3	Resident clean up from main break	0	0	0	0	0	0	174	2,000
	*	Amount missing from detail	0	14,033	0	0	0	0	0	0
+	650673362	Equipment maintenance supplies	15,332	21,821	15,000	15,000	15,872	17,400	1,674	20,000
	1	HD Supply Waterworkds LTD	0	0	0	0	0	0	0	0
	2	Other	0	0	15,000	0	0	17,400	1,674	20,000
	*	Amount missing from detail	15,332	21,821	0	15,000	15,872	0	0	0
+	650673800	Construction Materials	1,247	0	0	0	0	0	0	0
	1	Main repair parts (bolts, etc)	0	0	0	0	0	0	0	0
	2	Other	0	0	0	0	0	0	0	0
	*	Amount missing from detail	1,247	0	0	0	0	0	0	0

		ACTUAL 2011	ACTUAL 2012	H4Y201312	AMEND 2013	ACTUAL 2013	EST2013	DEPT2014	DEPTREQ14	
	ACCOUNT	Label	Actuals 2011	Actuals 2012	Original Budget 2013	Amended Budget 2013	Actuals 2013	Estimate 2013	Non HR Request	Total Department Request
	650673905	Internal Service Fund	13,505	7,899	7,500	7,500	20,043	22,730	1,674	20,000
	CYESTS673	Current Year Estimated Salaries & Benefits	0	0	0	0	0	26,000	0	0
=	W673	Maintenance - Mains	39,786	53,849	51,260	51,260	58,086	66,130	6,055	72,400
=	650675110	Salaries	14,519	12,904	10,260	10,260	6,191	0	754	9,049
=	650675111	Part Time Salaries	1,964	460	540	540	298	0	40	476
=	650675112	Overtime Salaries	3,272	873	1,000	1,000	760	0	83	1,000
+	650675214	Consultant/contractual services	2,000	25,755	20,000	20,000	32,848	39,000	2,500	30,000
	1	Contracted Water Test Sampling	0	0	20,000	0	0	39,000	2,500	30,000
	2	Other	0	0	0	0	0	0	0	0
	*	Amount missing from detail	2,000	25,755	0	20,000	32,848	0	0	0
+	650675362	Equipment maintenance supplies	9,390	2,311	3,000	3,000	310	310	250	3,000
	1	HD Supply Waterworks LTD	0	0	0	0	0	0	0	0
	2	Super Mix of WI	0	0	0	0	0	0	0	0
	3	Other	0	0	3,000	0	0	310	250	3,000
	4	Line Item 4	0	0	0	0	0	0	0	0
	*	Amount missing from detail	9,390	2,311	0	3,000	310	0	0	0
	650675905	Internal Service Fund	21,270	8,309	8,000	8,000	6,089	7,042	674	8,000
	CYESTS675	Current Year Estimated Salaries & Benefits	0	0	0	0	0	9,500	0	0
=	W675	Maintenance - Services	52,416	50,612	42,800	42,800	46,496	55,852	4,301	51,525
=	650676110	Salaries	6,989	8,030	14,515	14,515	15,825	0	1,383	16,594
=	650676111	Part-time salaries	319	254	605	605	236	0	28	339
=	650676112	Overtime salaries	269	201	100	100	873	0	8	100
+	650676214	Consultant/contractual services	2,642	8,140	9,000	9,000	9,999	10,000	750	9,000
	1	L-R Meter Testing	0	0	9,000	0	0	10,000	750	9,000
	2	Other	0	0	0	0	0	0	0	0
	*	Amount missing from detail	2,642	8,140	0	9,000	9,999	0	0	0
	650676350	Minor equipment/tool replacement	450	85	100	100	413	413	12	100
	650676362	Equipment maintenance supplies	497	1,023	1,000	1,000	1,243	2,000	125	1,500
	650676364	Building maintenance supplies	0	0	0	0	0	0	0	0
	650676905	Internal Service Fund	3,468	2,037	4,000	4,000	3,166	3,794	337	4,000
	CYESTS676	Current Year Estimated Salaries & Benefits	0	0	0	0	0	20,000	0	0
=	W676	Maintenance - Meters	14,635	19,771	29,320	29,320	31,756	36,207	2,643	31,633
=	650677110	Salaries	5,973	13,297	7,603	7,603	2,578	0	505	6,061
=	650677111	Part-time salaries	802	1,154	1,037	1,037	1,101	0	227	2,723
=	650677112	Overtime salaries	263	631	500	500	143	0	42	500
	650677350	Minor equipment/tool replacement	0	0	0	0	0	0	0	0
	650677362	Equipment maintenance supplies	5,962	6,977	6,000	6,000	974	1,900	424	5,000
	650677905	Internal Service Fund	6,858	13,118	13,000	13,000	3,487	3,947	587	7,000

		ACTUAL 2011	ACTUAL 2012	H4Y201312	AMEND 2013	ACTUAL 2013	EST2013	DEPT2014	DEPTREQ14	
	ACCOUNT	Label	Actuals 2011	Actuals 2012	Original Budget 2013	Amended Budget 2013	Actuals 2013	Estimate 2013	Non HR Request	Total Department Request
	CYESTS677	Current Year Estimated Salaries & Benefits	0	0	0	0	0	5,000	0	0
=	W677	Maintenance - Hydrants	19,858	35,176	28,140	28,140	8,282	10,847	1,785	21,284
=	W678	Maintenance - Miscellaneous Plant	0	0	0	0	0	0	0	0
=	W901	Meter Reading Labor	0	0	200	0	0	0	0	0
=	650902110	Salaries	14,583	16,584	19,440	19,440	10,284	0	1,367	16,404
=	650902111	Part-time salaries	0	0	0	0	0	0	0	0
=	650902112	Overtime Salaries	21	935	0	200	35	0	17	200
	650902905	Internal Service Fund	6,739	3,160	10,000	10,000	1,667	2,071	250	3,000
	CYESTS902	Current Year Estimated Salaries & Benefits	0	0	0	0	0	14,154	0	0
=	W902	Meter Reading Expenses	21,343	20,678	29,440	29,640	11,986	16,225	1,634	19,604
	650903206	Contractual Printing	875	804	900	900	746	746	75	900
	650903312	Postage	4,504	4,346	4,900	4,900	3,128	4,900	412	4,900
+	650903199	Personnel Transfer	6,412	5,003	5,295	5,295	4,528	5,403	400	4,679
	1	Transfer from Finance Dept	0	0	5,295	0	0	5,403	400	4,679
	*	Amount missing from detail	6,412	5,003	0	5,295	4,528	0	0	0
=	W903	Customer Records and Collection	11,791	10,153	11,095	11,095	8,402	11,049	887	10,479
=	650920110	Salaries	30,070	33,751	32,567	32,567	19,829	0	2,676	32,115
=	650920111	Part - time salaries	0	5,100	5,617	5,617	4,712	0	824	9,890
=	650920112	Overtime salaries	0	0	0	0	0	0	0	0
=	650920153	Workers compensation	0	0	0	0	512	0	0	0
+	650920199	Personnel Transfers	104,303	108,321	111,844	111,844	89,612	107,831	8,332	99,544
	1	Transfer from Admin	0	0	21,190	0	0	21,190	1,585	18,910
	2	Transfer from Finance	0	0	30,334	0	0	30,334	2,305	27,583
	3	Transfer from IT	0	0	40,658	0	0	40,658	2,987	35,767
	4	Transfer from HR	0	0	13,147	0	0	13,147	976	11,591
	5	Transfer from Clerk	0	0	6,515	0	0	6,515	479	5,693
	6	Adjust to Actual	0	0	0	0	0	(4,013)	0	0
	*	Amount missing from detail	104,303	108,321	0	111,844	89,612	0	0	0
	650920200	Temporary help	0	0	0	0	0	0	0	0
	650920201	Unemployment	2,670	2,545	1,208	1,208	978	1,173	825	825
	650920260	Travel	0	1,684	0	0	449	449	49	500
	650920261	Meals & lodging	4	59	0	0	10	10	12	100
+	650920262	Conferences/seminars/training	407	0	2,500	2,500	1,717	1,717	212	2,500
	1	Other	0	0	0	0	0	1,717	212	2,500
	2	New Program-utility analyst training	0	0	2,500	0	0	0	0	0
	*	Amount missing from detail	407	0	0	2,500	1,717	0	0	0



		ACTUAL 2011	ACTUAL 2012	H4Y201312	AMEND 2013	ACTUAL 2013	EST2013	DEPT2014	DEPTREQ14	
	ACCOUNT	Label	Actuals 2011	Actuals 2012	Original Budget 2013	Amended Budget 2013	Actuals 2013	Estimate 2013	Non HR Request	Total Department Request
	CYESTS920	Current Year Estimated Salaries & Benefits	0	0	0	0	0	57,000	0	0
=	W920	Administrative - General Salaries	137,454	151,460	153,736	153,736	117,818	168,180	12,930	145,474
	650921205	Publication of notices/agendas	174	171	250	250	43	155	30	250
+	650921206	Contractual printing	713	5,973	1,000	1,000	0	5,350	424	5,000
	1	Newsletter	0	0	0	0	0	5,350	424	5,000
	2	Other	0	0	0	0	0	0	0	0
	*	Amount missing from detail	713	5,973	1,000	1,000	0	0	0	0
	650921216	Legislative Services	462	824	400	400	166	166	37	400
	650921225	Cellular Telephone	1,361	1,614	1,800	1,800	1,244	1,800	150	1,800
	650921226	Data/Voice Communications	0	360	0	0	0	0	0	0
	650921232	Facility lease	17,719	17,719	17,719	17,719	0	17,719	1,483	17,719
	650921241	Software maintenance agreement	641	708	708	708	589	589	50	600
	650921242	Contracted equipment maintenance	85	0	85	85	0	0	0	0
	650921261	Meals & Lodging	66	631	630	630	1,273	1,273	74	800
	650921262	Conferences/seminars/training	178	2,295	2,295	2,295	1,231	1,231	194	2,295
	650921300	Memberships & subscriptions	2,171	1,169	1,600	1,600	1,612	1,612	138	1,612
	650921310	Office supplies	98	254	400	400	153	200	37	400
	650921311	Copying/Printing	758	727	1,000	1,000	486	1,000	87	1,000
	650921312	Postage	1,426	2,140	2,125	2,125	1,424	2,125	178	2,125
	650921350	Minor equipment/tool replacem	1,268	77	100	100	0	333	12	100
	650921352	Uniform services & uniforms	401	978	1,000	1,000	276	400	87	1,000
	650921353	Safety Equipment	815	1,716	1,800	1,800	862	2,000	150	1,800
	650921355	Janitorial/cleaning supplies	0	0	200	200	0	0	0	0
	650921399	Miscellaneous expense	340	338	333	333	0	0	30	250
+	650921901	Non Personnel Transfer	42,500	42,500	56,261	56,261	46,909	56,261	3,324	39,800
	1	Original Amount	0	0	46,500	0	0	56,261	3,324	39,800
	2	New Program - FInance/HR Software	0	0	9,761	0	0	0	0	0
	*	Amount missing from detail	42,500	42,500	0	56,261	46,909	0	0	0
=	W921	Office Supplies and Expenses	71,176	80,194	89,706	89,706	56,269	92,214	6,485	76,951
+	650923210	Attorney fees	275	4,973	5,000	5,000	75,109	75,109	174	2,000
	1	General Water Legal	0	0	2,000	0	0	0	174	2,000
	2	Kenosha Rate Case	0	0	3,000	0	0	75,109	0	0
	*	Amount missing from detail	275	4,973	0	5,000	75,109	0	0	0
+	650923211	Accounting & auditing fees	8,670	5,678	5,000	5,000	64,765	64,765	0	0
	1	Water Rate Services	0	0	0	0	0	0	0	0
	2	Intervene - Kenosha Rate Case	0	0	5,000	0	0	64,765	0	0
	*	Amount missing from detail	8,670	5,678	0	5,000	64,765	0	0	0
+	650923212	Engineering fees	13,648	841	1,000	1,000	29,423	29,423	0	0
	1	Kenosha Rate Case	0	0	0	0	0	29,423	0	0

		ACTUAL 2011	ACTUAL 2012	H4Y201312	AMEND 2013	ACTUAL 2013	EST2013	DEPT2014	DEPTREQ14	
	ACCOUNT	Label	Actuals 2011	Actuals 2012	Original Budget 2013	Amended Budget 2013	Actuals 2013	Estimate 2013	Non HR Request	Total Department Request
	2	Other	0	0	0	0	0	0	0	0
	*	Amount missing from detail	13,648	841	1,000	1,000	29,423	0	0	0
	650923213	Network consultants	0	0	0	0	0	0	0	0
+	650923214	Consultant/contractual service	24,982	23,264	19,000	19,000	18,971	28,906	2,172	25,800
	1	Public Service Commission - Water Rate Request	0	0	0	0	0	0	0	0
	2	Precise Underground Marking	0	0	10,000	0	0	19,460	1,250	15,000
	3	Power Engineers - City Works	0	0	0	0	0	0	0	0
	4	Aqua Backflow Inc	0	0	4,000	0	0	6,376	549	6,500
	5	PSN - Monthly On-line Billing / Payment	0	0	1,000	0	0	1,217	112	1,300
	6	Digger Hotline	0	0	2,000	0	0	1,710	174	2,000
	7	Other	0	0	2,000	0	0	143	87	1,000
	*	Amount missing from detail	24,982	23,264	0	19,000	18,971	0	0	0
	650923241	Software maintenance agreement	0	0	0	0	0	0	0	0
	650923399	Miscellaneous expense	0	0	0	0	0	0	0	0
=	W923	Outside Services Employed	47,574	34,755	30,000	30,000	188,269	198,203	2,346	27,800
+	650924510	Property & liability insurance	10,765	12,341	11,950	11,950	13,300	13,603	13,650	13,650
	1	General Liability	0	0	6,500	0	0	7,200	7,200	7,200
	2	Boiler & Machinery	0	0	850	0	0	1,028	1,050	1,050
	3	Property	0	0	4,600	0	0	5,375	5,400	5,400
	4	Insurance Deductible	0	0	0	0	0	0	0	0
	*	Amount missing from detail	10,765	12,341	0	11,950	13,300	0	0	0
=	W924	Property & Liability Insurance	10,765	12,341	11,950	11,950	13,300	13,603	13,650	13,650
=	650926152	Wisconsin retirement	12,815	13,880	21,087	21,087	11,488	0	1,633	19,590
=	650926153	Workers comp	6,364	7,582	11,780	11,780	7,457	0	862	10,347
=	650926154	Health & life benefits	44,532	59,032	77,431	77,431	55,725	0	5,349	64,182
=	650926158	Long - term disability insurance	11	10	90	90	8	0	10	123
	650926159	Retiree Medical Benefits	5,923	2,638	11,270	11,270	9,391	11,270	941	11,270
	XCYESTSB2	Current Year Estimated Benefits	0	0	0	0	0	94,000	0	0
=	W926	Employee Pensions and Benefits	69,646	83,142	121,659	121,658	84,069	105,270	8,795	105,512
+	650930990	New program requests	0	0	0	0	0	0	(11)	(88)
	1	Fund 100 Support Dept - Allocation of New Programs	0	0	0	0	0	0	814	9,746
	2	Paint and Mark Water Hydrants	0	0	0	0	0	0	462	5,500
	3	Inspect 93rd St Reservoir Booster Tank	0	0	0	0	0	0	500	6,000
	4	Utility Locate Position	0	0	0	0	0	0	(1,106)	(13,250)
	5	Utility Locate Positon - Allocation % to Fund 100 & 607	0	0	0	0	0	0	(681)	(8,084)
	*	Amount missing from detail	0	0	0	0	0	0	0	0
=	650930991	New program request - Personnel	0	0	0	0	0	0	2,245	26,943

		ACTUAL 2011	ACTUAL 2012	H4Y201312	AMEND 2013	ACTUAL 2013	EST2013	DEPT2014	DEPTREQ14	
	ACCOUNT	Label	Actuals 2011	Actuals 2012	Original Budget 2013	Amended Budget 2013	Actuals 2013	Estimate 2013	Non HR Request	Total Department Request
=	W930	Miscellaneous General Exp	0	0	0	0	0	0	2,234	26,855
=	W933	Water Transportation Expense	0	0	0	0	0	0	0	0
=	WOPEXP	Water Utility Total Operating Expense	3,212,806	3,381,504	3,498,878	3,498,877	1,962,566	3,499,445	1,675,900	3,450,588
=	WOPGAIN	Water Utility Operating Gain	552,696	948,414	599,105	599,106	1,595,320	753,964	2,546,024	775,912
		Non Operating Revenue								
+	481103000	Gain/Loss on Sale	0	10,540	0	0	(28,965)	(28,965)	0	0
	1	Write off of Asset under \$5,000	0	0	0	0	(28,965)	(28,965)	0	0
	2	Other	0	0	0	0	0	0	0	0
	*	Amount missing from detail	0	10,540	0	0	0	0	0	0
	484190000	Interest on Investments	7,266	6,094	6,000	6,000	2,146	5,000	375	4,500
	484191000	Interest on Special Assessments	11,429	19,543	25,239	25,239	10,804	16,190	16,149	16,149
	484192000	Interest Expense - Late Payments	23,802	24,242	20,000	20,000	11,942	21,455	1,799	21,500
	484195000	Amorization of Bond Premium	4,366	3,391	933	933	0	933	86	933
=	WINT	Water Utility Non-Operating Revenue	46,863	63,811	52,172	52,172	(4,073)	14,613	18,409	43,082
		Non-Operating Expenses								
	960427605	Amortization of issuance expense	6,586	5,877	4,070	4,070	0	0	0	0
	960427620	Interest on long-term debt	38,327	26,342	15,690	15,690	12,113	15,690	749	8,988
	960427622	Interest on lease	0	0	0	0	0	0	0	0
=	WNONOP	Water Utility Non-Operating Expenses	(44,913)	(32,219)	(19,760)	(19,760)	(12,113)	(15,690)	(749)	(8,988)
=	GBCONT	Gain Before Contributions	554,647	980,006	631,517	631,518	1,579,133	752,887	2,563,684	810,006
	492421000	Capital Contributions	6,281	203,708	0	0	0	0	0	0
	492001000	Capital Contributions - Govt Activiies	0	0	0	0	0	0	0	0
	900	Transfer Out	115,562	119,361	116,875	116,875	93,163	116,875	9,746	116,875
	970930902	Transfer Out - ISF	0	0	0	0	0	0	0	0
	970930903	Transfer Out - Tax Equivalent	843,323	893,154	893,155	893,155	0	939,177	78,273	939,177
	650408999	Transfers-Tax Equivalent	0	0	0	0	0	0	0	0
=	NACHANGE	Change in Net Assets	(397,958)	171,198	(378,513)	(378,512)	1,485,970	(303,165)	2,475,665	(246,046)
		Salaries & Benefits Summary								
=	WSALARIES	Salaries	134,269	209,015	288,854	288,854	153,728	0	19,920	238,993
=	WPTSALARIES	Part-Time Salaries	0	5,120	5,617	5,617	6,442	0	824	9,890

		ACTUAL 2011	ACTUAL 2012	H4Y201312	AMEND 2013	ACTUAL 2013	EST2013	DEPT2014	DEPTREQ14	
	ACCOUNT	Label	Actuals 2011	Actuals 2012	Original Budget 2013	Amended Budget 2013	Actuals 2013	Estimate 2013	Non HR Request	Total Department Request
=	WOSALARIES	Overtime Salaries	0	0	1,200	1,000	286	0	83	1,000
=	WTSALARIES	Total Salaries	134,269	214,135	295,671	295,471	160,457	0	20,827	249,883
=	TOT199	Personnel Transfers Salaries	104,303	108,321	111,844	111,844	89,612	107,831	8,332	99,544
=	ADJSALARIES	Adjusted Salaries	238,573	322,455	407,515	407,315	250,069	107,831	29,159	349,427
=	WSSSALARIES	Social Security	11,971	18,124	24,258	24,258	14,206	20,000	1,784	21,409
=	WRSALARIES	Retirement	12,815	13,880	21,087	21,087	11,488	0	1,633	19,590
=	WWCSALARIES	Workers Comp	6,364	7,582	11,780	11,780	7,968	0	862	10,347
=	WHLSALARIES	Health & Life	44,532	59,032	77,431	77,431	55,725	0	5,349	64,182
=	WRMSALARIES	Retiree Medical Benefits	5,923	2,638	11,270	11,270	9,391	11,270	941	11,270
=	WLTDSALARIES	Long Term Disability	11	10	90	90	8	0	10	123
=	WTBENEFITS	Total Benefits	81,617	101,266	145,917	145,916	98,787	31,270	10,579	126,922
	TOT199B	Personnel Transfers Benefits	0	0	0	0	0	0	0	0
=	ADJBENFTS		81,617	101,266	145,917	145,916	98,787	31,270	10,579	126,922
=	TCYESTSB	Current Year Estimated Salaries & Benefits	0	0	0	0	0	374,187	0	0
=	TOTSLBEN	Total Salaries & Benefits	320,189	423,721	553,432	553,231	348,856	513,288	39,739	476,349
		Percent of Labor Dollars								
=	PSS	Social Security	9	8	98	8	9	0	9	103
=	PRETIREMENT	Retirement	10	6	86	7	7	0	8	94
=	PWORKERCOMP	Workers Comp	5	4	48	4	5	0	4	50
=	PHEALTH	Health Insurance	33	28	314	26	35	0	26	308
=	PWTOTAL	Water Total	56	46	546	46	56	0	46	555

			2014 Budget	Starting Salary	Increase %	Increase Period	New Salary	Increase% 2	Increase Period 2	New Salary 2	Bonus %	Bonus Amount
	100-06-006	Spence, Michael	0.00	\$99,438	3.00%	1	\$102,421		0	\$102,421		0
	100-06-018	Wlahovich, Steven	0.00	\$56,032	3.00%	1	\$57,713	5.88%	5	\$61,106		0
	100-06-019	Fineour, Matthew	0.00	\$85,069	3.00%	1	\$87,621		0	\$87,621		0
	100-08-373	Perez, Sandro	0.00	\$74,984	3.00%	1	\$77,234		0	\$77,234		0
	110	Salary Account	0.00			0			0			0
	100-08-373o	OT - Perez, Sandro	0.00	\$5,408	3.00%	1	\$5,570		0	\$5,570		0
	112	Over-time Salaries	0.00			0			0			0
			0.00			0			0			0

# VILLAGE OF PLEASANT PRAIRIE

## New Programs

BUDGET YEAR: 2014

DEPARTMENT: Water Utility

FUND NO. & NAME: 602 - Water Utility

### NEW PROGRAMS OVERVIEW:

List all New Programs and amounts. For each New Program listed, a separate New Program detail sheet needed.

	NEW PROGRAM NAME	AMOUNT
1.	Paint and mark water hydrants	\$5,500
2.	Inspect 93rd St Reservoir Booster Tank (One-time)	\$6,000
3.	Utility Locates In-house( Split with Sewer)	\$5,610
4.	Fund 100 support departments - Allocation of New Programs	\$9,746
5.		
6.		
7.		
8.		
9.		
10.		
11.		
12.		
13.		
14.		
15.		

TOTAL AMOUNT: \$26,856

# VILLAGE OF PLEASANT PRAIRIE

## New Programs

BUDGET YEAR: 2014

DEPARTMENT: Water Utility

FUND NO. & NAME: 602 - Water Utility

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### NEW PROGRAMS REQUEST DETAIL:

Complete a detail sheet for each new program listed above. Note: Click to add "Additional New Program Request...".

---

NEW PROGRAM DETAIL NO.: 1

APPROVED

NEW PROGRAM NAME: Paint and mark water hydrants

REJECTED

CAPITAL PURCHASE REQUIRED: No IF YES,

CAPITAL PROJECT NAME: \_\_\_\_\_

CAPITAL PROJECT NO.: \_\_\_\_\_

ACCOUNT	DESCRIPTION	COST
602-650677-362	Hydrant Maintenance	\$5,500

TOTAL COSTS: \$5,500

### OVERVIEW INCLUDING EFFECT ON GOALS:

Paint 10% of the hydrants every year and install markers on arterial roads to make them easy to locate for the fire department and protect them from snow plows. Reflective paint for 150 hydrants and 150 at \$12 each markers.

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# VILLAGE OF PLEASANT PRAIRIE

## New Programs

BUDGET YEAR: 2014

DEPARTMENT: Water Utility

FUND NO. & NAME: 602 - Water Utility

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### NEW PROGRAMS REQUEST DETAIL:

Complete a detail sheet for each new program listed above. Note: Click to add "Additional New Program Request...".

---

NEW PROGRAM DETAIL NO.: 2

APPROVED

NEW PROGRAM NAME: Inspect 93rd St Reservoir Booster Tank

REJECTED

CAPITAL PURCHASE REQUIRED: Yes IF YES,

CAPITAL PROJECT NAME: \_\_\_\_\_

CAPITAL PROJECT NO.: \_\_\_\_\_

ACCOUNT	DESCRIPTION	COST
602-650672-214	Consultant / Contractual Services	\$6,000

TOTAL COSTS: \$6,000

### OVERVIEW INCLUDING EFFECT ON GOALS:

Inspect inside and outside of 93rd St Reservoir Booster Tank. Inspection will be done via dive and will not shut the service down.

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# VILLAGE OF PLEASANT PRAIRIE

## New Programs

BUDGET YEAR: 2014

DEPARTMENT: Water Utility

FUND NO. & NAME: 602 - Water Utility

### NEW PROGRAMS REQUEST DETAIL:

Complete a detail sheet for each new program listed above. Note: Click to add "Additional New Program Request...".

NEW PROGRAM DETAIL NO.: 3

APPROVED

NEW PROGRAM NAME: Utility Locates In-house

REJECTED

CAPITAL PURCHASE REQUIRED: No IF YES,

CAPITAL PROJECT NAME: \_\_\_\_\_

CAPITAL PROJECT NO.: \_\_\_\_\_

ACCOUNT	DESCRIPTION	COST
602-650662-110	Wages and Benefits	\$18,860
602-650923-214	Contracted Services	(\$15,000)
602-650923-350	Equipment & Materials (35%)	\$1,750

**TOTAL COSTS:** \$5,610

### OVERVIEW INCLUDING EFFECT ON GOALS:

Pleasant Prairie Utilities (PPU) has contracted Utility locating with Precise Locating Services since 2011. They locate Village owned utilities for anyone requesting to excavate in the public right of way. The level of service from Precise is decreased over the last year. There have been cases of poor locating practices leading to Village Utilities being hit by contractors. We are proposing to complete these locates in house for more accurate results and less damaged infrastructure.

Village of Pleasant Prairie, WI

*Capital Plan*

2014 thru 2018

**PROJECTS BY DEPARTMENT**

<b>Department</b>	<b>Project#</b>	<b>Priority</b>	<b>2014</b>	<b>2015</b>	<b>2016</b>	<b>2017</b>	<b>2018</b>	<b>Total</b>
<b>601/602 Sewer/Water Split</b>								
Inframap	<i>SNW-14-01</i>	1	10,000					<i>10,000</i>
SCADA Upgrade	<i>SNW-14-02</i>	1	33,000					<i>33,000</i>
<b>601/602 Sewer/Water Split Total</b>			<b>43,000</b>					<b>43,000</b>
<b>602 Water Utility</b>								
Finance, HR, Payroll Software	<i>Water 12/13</i>	3	10,619					<i>10,619</i>
Residential Meters - New	<i>Water-01</i>	3	22,032	20,000	20,000	20,000	20,000	<i>102,032</i>
Residential Meters - Replacement	<i>Water-02</i>	3	49,572	45,000	45,000	45,000	45,000	<i>229,572</i>
Travis City Hydrant Replacement	<i>WATER-11-02</i>	1	7,800	7,800	7,800	7,800	7,800	<i>39,000</i>
Water Meter Upgrade - Sensus OMNI C2 (Industrial)	<i>WATER-11-03</i>	1	30,000	30,000	30,000	30,000	20,000	<i>140,000</i>
Pave Sites	<i>WATER-12-02</i>	5	23,000	10,000		10,000		<i>43,000</i>
Water Meter radio upgrades	<i>WATER-12-03</i>	1	40,000	40,000	40,000			<i>120,000</i>
Carol Beach Water System Improvement	<i>WATER-12-05</i>	5					350,000	<i>350,000</i>
Pleasant Homes - Water Main	<i>WATER-12-06</i>	5			180,000			<i>180,000</i>
Installation of antenna for remote water meter read	<i>WATER-12-07</i>	5		40,000				<i>40,000</i>
Water Tower Paint	<i>WATER-13-01</i>	5		252,000		371,000		<i>623,000</i>
<b>602 Water Utility Total</b>			<b>183,023</b>	<b>444,800</b>	<b>322,800</b>	<b>483,800</b>	<b>442,800</b>	<b>1,877,223</b>
<b>GRAND TOTAL</b>			<b>226,023</b>	<b>444,800</b>	<b>322,800</b>	<b>483,800</b>	<b>442,800</b>	<b>1,920,223</b>

# Capital Plan

2014 *thru* 2018

**Department** 601/602 Sewer/Water Split

## Village of Pleasant Prairie, WI

**Contact** John Steinbrink, Jr.

<b>Project #</b>	<b>S/W-14-01</b>
<b>Project Name</b>	<b>Inframap</b>

**Type** Improvement

**Useful Life** 10 years

**Category** Software

**Priority** 1 Urgent

**Status** Active

**Total Project Cost:** \$10,000

Special Assessable

Fund Number

Description
Purchase asset management software to interface with Cityworks

Justification
Fill the gap in the current asset management software. Enable the utility department to better keep track of maintenance programs

Expenditures	2014	2015	2016	2017	2018	Total
Equip/Vehicles/Furnishings	10,000					10,000
<b>Total</b>	<b>10,000</b>					<b>10,000</b>

Funding Sources	2014	2015	2016	2017	2018	Total
Operating Funds	10,000					10,000
<b>Total</b>	<b>10,000</b>					<b>10,000</b>

Budget Impact/Other

**Capital Plan**

2014 *thru* 2018

**Department** 601/602 Sewer/Water Split

**Village of Pleasant Prairie, WI**

**Contact** John Steinbrink, Jr.

<b>Project #</b>	S/W-14-02
<b>Project Name</b>	SCADA Upgrade

**Type** Improvement

**Useful Life** 10 years

**Category** Water Distribution System

Special Assessable

**Priority** 1 Urgent

**Fund Number**

**Status** Active

**Total Project Cost:** \$33,000

<b>Description</b>
SCADA Upgrade

<b>Justification</b>

<b>Expenditures</b>	<b>2014</b>	<b>2015</b>	<b>2016</b>	<b>2017</b>	<b>2018</b>	<b>Total</b>
Equip/Vehicles/Furnishings	33,000					33,000
<b>Total</b>	<b>33,000</b>					<b>33,000</b>

<b>Funding Sources</b>	<b>2014</b>	<b>2015</b>	<b>2016</b>	<b>2017</b>	<b>2018</b>	<b>Total</b>
Operating Funds	33,000					33,000
<b>Total</b>	<b>33,000</b>					<b>33,000</b>

<b>Budget Impact/Other</b>

# Capital Plan

2014 *thru* 2018

**Department** 602 Water Utility

## Village of Pleasant Prairie, WI

**Contact** Kathy Goessl

<b>Project #</b>	Water 12/13
<b>Project Name</b>	Finance, HR, Payroll Software

**Type** Equipment

**Useful Life** 10 years

**Category** IT Equipment - New

**Priority** 3 Important

**Status** Active

Special Assessable

**Fund Number**

**Total Project Cost:** \$17,643

<b>Description</b>
Allocation of the capital cost of 2013 IT capital project for Finance / HR and Payroll software

<b>Justification</b>
Current Finance and payroll software is not keeping up with technology, and is very slow, decreasing productivity. The HR module would replace manual processes.

Prior	Expenditures	2014	2015	2016	2017	2018	Total
7,024	Equip/Vehicles/Furnishings	10,619					10,619
<b>Total</b>	<b>Total</b>	10,619					10,619

Prior	Funding Sources	2014	2015	2016	2017	2018	Total
7,024	Operating Funds	10,619					10,619
<b>Total</b>	<b>Total</b>	10,619					10,619

<b>Budget Impact/Other</b>
Training, travel and conversion costs associated with this project

<b>Prior</b>	9,761
<b>Total</b>	

**Capital Plan**

2014 *thru* 2018

**Department** 602 Water Utility

**Village of Pleasant Prairie, WI**

**Contact** John Steinbrink, Jr.

<b>Project #</b>	<b>Water-01</b>
<b>Project Name</b>	<b>Residential Meters - New</b>

**Type** Equipment

**Useful Life** 20 years

**Category** Water Other

**Priority** 3 Important

**Status** Active

Special Assessable

Fund Number

**Total Project Cost: \$102,032**

<b>Description</b>
New installation of residential water meters, including labor of \$2,032 for 2014

<b>Justification</b>

<b>Expenditures</b>	<b>2014</b>	<b>2015</b>	<b>2016</b>	<b>2017</b>	<b>2018</b>	<b>Total</b>
Equip/Vehicles/Furnishings	22,032	20,000	20,000	20,000	20,000	102,032
<b>Total</b>	<b>22,032</b>	<b>20,000</b>	<b>20,000</b>	<b>20,000</b>	<b>20,000</b>	<b>102,032</b>

<b>Funding Sources</b>	<b>2014</b>	<b>2015</b>	<b>2016</b>	<b>2017</b>	<b>2018</b>	<b>Total</b>
Operating Funds	22,032	20,000	20,000	20,000	20,000	102,032
<b>Total</b>	<b>22,032</b>	<b>20,000</b>	<b>20,000</b>	<b>20,000</b>	<b>20,000</b>	<b>102,032</b>

<b>Budget Impact/Other</b>

**Capital Plan**

2014 *thru* 2018

**Department** 602 Water Utility

**Village of Pleasant Prairie, WI**

**Contact** John Steinbrink, Jr.

<b>Project #</b>	<b>Water-02</b>
<b>Project Name</b>	<b>Residential Meters - Replacement</b>

**Type** Equipment

**Useful Life** 20 years

**Category** Water Other

**Priority** 3 Important

**Status** Active

Special Assessable

Fund Number

**Total Project Cost: \$229,572**

<b>Description</b>
Change out residential meters per PSC requirements, plus labor for 2014 of \$4,572

<b>Justification</b>

<b>Expenditures</b>	<b>2014</b>	<b>2015</b>	<b>2016</b>	<b>2017</b>	<b>2018</b>	<b>Total</b>
Equip/Vehicles/Furnishings	49,572	45,000	45,000	45,000	45,000	229,572
<b>Total</b>	<b>49,572</b>	<b>45,000</b>	<b>45,000</b>	<b>45,000</b>	<b>45,000</b>	<b>229,572</b>

<b>Funding Sources</b>	<b>2014</b>	<b>2015</b>	<b>2016</b>	<b>2017</b>	<b>2018</b>	<b>Total</b>
Operating Funds	49,572	45,000	45,000	45,000	45,000	229,572
<b>Total</b>	<b>49,572</b>	<b>45,000</b>	<b>45,000</b>	<b>45,000</b>	<b>45,000</b>	<b>229,572</b>

<b>Budget Impact/Other</b>

# Capital Plan

2014 *thru* 2018

## Village of Pleasant Prairie, WI

**Department** 602 Water Utility

**Contact** John Steinbrink, Jr.

**Project #** WATER-11-02  
**Project Name** Travis City Hydrant Replacement

**Type** Equipment

**Useful Life** 50 years

**Category** Water Other

**Priority** 1 Urgent

**Status** Active

**Special Assessable**

**Fund Number** 602

**Total Project Cost:** \$64,800

Description
Travis City hydrant replacement

Justification
Currently we have 200 Travis City hydrants within the Village of Pleasant Prairie. Parts for these hydrants are no longer available and will no longer be made. It is recommended that we replace 2 hydrants per year. The cost of each hydrant is \$2,000.00 plus labor.

Prior	Expenditures	2014	2015	2016	2017	2018	Total	Future
18,000	Equip/Vehicles/Furnishings	7,800	7,800	7,800	7,800	7,800	39,000	7,800
<b>Total</b>	<b>Total</b>	7,800	7,800	7,800	7,800	7,800	39,000	<b>Total</b>

Prior	Funding Sources	2014	2015	2016	2017	2018	Total	Future
18,000	Operating Funds	7,800	7,800	7,800	7,800	7,800	39,000	7,800
<b>Total</b>	<b>Total</b>	7,800	7,800	7,800	7,800	7,800	39,000	<b>Total</b>

Budget Impact/Other
Keep hydrants in working order to avoid hydrant down time for Utility and Fire Departments.



# Capital Plan

2014 *thru* 2018

**Department** 602 Water Utility

## Village of Pleasant Prairie, WI

**Contact** John Steinbrink, Jr.

**Project #** WATER-11-03  
**Project Name** Water Meter Upgrade - Sensus OMNI C2 (Industrial)

**Type** Improvement

**Useful Life** 10years

**Category** Water Other

**Priority** 1 Urgent

**Status** Active

**Special Assessable**

**Fund Number** 602

**Total Project Cost:** \$210,000

**Description**  
 Replace 3 water meters with Sensus OMNI C2 water meters and update registers on meters

**Justification**  
 Currently the Utility has 24-3" meters, 17-4" meters and 4-6" meters. The 3" and 4" are calibrated every two years and the 6" are calibrated yearly. Even though calibrated and inspected, some of these meters are obsolete due to difficulty finding replacement parts and are no longer produced. By 2018, all of our current large meters will be obsolete as our meter supplier Sensus has designed a more accurate meter to replace all larger sizes. The new meters have a different turbine system to read low and variable flow enabling larger meters to be more accurate. Sensus will be starting with 4" and 6" turbine meters this year which are more accurate than our current compound meters to be followed by 3" and 2". In addition, the new meters are made of a coated cast iron instead of bronze in anticipation of new EPA guidelines regarding lead which leaches out of bronze fixtures.  
 In anticipation of the aforementioned changes and to replace existing meters in need of replacement due to age, it is recommended the Utility start a pilot program to field test these meters. The pilot program shall consist of replacing one 6" meter and two 4" meters at an estimated cost of \$10,000. After replacement, these new meters shall be closely monitored to see if accuracy is improved and check their performance. If they perform as expected, a program shall be introduced to replace meters yearly with the new technology.

Prior	Expenditures	2014	2015	2016	2017	2018	Total	Future
30,000	Equip/Vehicles/Furnishings	30,000	30,000	30,000	30,000	20,000	140,000	40,000
<b>Total</b>	<b>Total</b>	<b>30,000</b>	<b>30,000</b>	<b>30,000</b>	<b>30,000</b>	<b>20,000</b>	<b>140,000</b>	<b>Total</b>

Prior	Funding Sources	2014	2015	2016	2017	2018	Total	Future
30,000	Operating Funds	30,000	30,000	30,000	30,000	20,000	140,000	40,000
<b>Total</b>	<b>Total</b>	<b>30,000</b>	<b>30,000</b>	<b>30,000</b>	<b>30,000</b>	<b>20,000</b>	<b>140,000</b>	<b>Total</b>

**Budget Impact/Other**  
 Reduce water loss and bill more accurately

**Capital Plan**

2014 *thru* 2018

**Village of Pleasant Prairie, WI**

**Department** 602 Water Utility

**Contact** John Steinbrink, Jr.

**Type** Improvement

**Useful Life**

**Category** Parking Lots

**Priority** 5 Future Consideration

**Status** Active

**Total Project Cost:** \$43,000

**Project #** WATER-12-02  
**Project Name** Pave Sites

**Special Assessable**

**Fund Number**

**Description**  
 Repave asphalt drives at Water sites after tower maintenance - Painting

**Justification**  
 Necessary maintenance for water distribution system.

<b>Expenditures</b>	<b>2014</b>	<b>2015</b>	<b>2016</b>	<b>2017</b>	<b>2018</b>	<b>Total</b>
Construction	23,000	10,000		10,000		43,000
<b>Total</b>	<b>23,000</b>	<b>10,000</b>		<b>10,000</b>		<b>43,000</b>

<b>Funding Sources</b>	<b>2014</b>	<b>2015</b>	<b>2016</b>	<b>2017</b>	<b>2018</b>	<b>Total</b>
Operating Funds	23,000	10,000		10,000		43,000
<b>Total</b>	<b>23,000</b>	<b>10,000</b>		<b>10,000</b>		<b>43,000</b>

**Budget Impact/Other**  
 Necessary maintenance.

# Capital Plan

2014 *thru* 2018

**Department** 602 Water Utility

## Village of Pleasant Prairie, WI

**Contact** John Steinbrink, Jr.

<b>Project #</b>	<b>WATER-12-03</b>
<b>Project Name</b>	<b>Water Meter radio upgrades</b>

**Type** Improvement

**Useful Life** 20 years

**Category** Water Distribution System

Special Assessable

**Priority** 1 Urgent

**Fund Number**

**Status** Active

**Total Project Cost: \$180,000**

Description
Upgrade the water meters with radio reads. Approximately 180 per year till the project is complete.

Justification
Need to update water meter reading technology to allow easier access for meter reading and more accurate information.

Prior	Expenditures	2014	2015	2016	2017	2018	Total
60,000	Equip/Vehicles/Furnishings	40,000	40,000	40,000			120,000
<b>Total</b>	<b>Total</b>	40,000	40,000	40,000			120,000

Prior	Funding Sources	2014	2015	2016	2017	2018	Total
60,000	Operating Funds	40,000	40,000	40,000			120,000
<b>Total</b>	<b>Total</b>	40,000	40,000	40,000			120,000

Budget Impact/Other

# Capital Plan

2014 *thru* 2018

## Village of Pleasant Prairie, WI

**Department** 602 Water Utility  
**Contact** John Steinbrink, Jr.  
**Type** Improvement  
**Useful Life**  
**Category** Water Distribution System  
**Priority** 5 Future Consideration  
**Status** Active

**Project #** WATER-12-05  
**Project Name** Carol Beach Water System Improvement

Special Assessable

**Fund Number** 602

**Total Project Cost:** \$350,000

**Description**  
 Replace the water main and install hydrants in the following areas of Carol Beach  
 11th Avenue from 111th Street to 113th Street area  
 111th Street from 8th Avenue to Sheridan Road  
 114th Street from 8th Avenue to 10th Avenue

**Justification**  
 The water main in Carol Beach between 111th / 114th Street and 8th/11th Avenue is the oldest and smallest water main (4 to 6 inch) in the Village Of Pleasant Prairie. It was constructed in the 1950's as part of a private well system for the area. When the system was abandoned the PPWU. took it over and connected it to the municipal water supply.

Expenditures	2014	2015	2016	2017	2018	Total
Construction					350,000	350,000
<b>Total</b>					350,000	350,000

Funding Sources	2014	2015	2016	2017	2018	Total
Operating Funds					350,000	350,000
<b>Total</b>					350,000	350,000

**Budget Impact/Other**  
 Reduce water main breaks creating a more efficient allocation of staff, reduce water loss and improve public safety.

# Capital Plan

2014 *thru* 2018

## Village of Pleasant Prairie, WI

**Department** 602 Water Utility  
**Contact** John Steinbrink, Jr.  
**Type** Improvement  
**Useful Life** 75 years  
**Category** Water Distribution System  
**Priority** 5 Future Consideration  
**Status** Active

**Project #** WATER-12-06  
**Project Name** Pleasant Homes - Water Main

Special Assessable

**Fund Number** 602

**Total Project Cost:** \$180,000

**Description**  
 Relay old water main on 44th Avenue from 120th Street to 122nd Street.

**Justification**  
 Eliminate water main breaks

Expenditures	2014	2015	2016	2017	2018	Total
Construction			180,000			180,000
<b>Total</b>			180,000			180,000

Funding Sources	2014	2015	2016	2017	2018	Total
Operating Funds			180,000			180,000
<b>Total</b>			180,000			180,000

**Budget Impact/Other**  
 Less labor for repairs

# Capital Plan

2014 *thru* 2018

## Village of Pleasant Prairie, WI

**Department** 602 Water Utility  
**Contact** John Steinbrink, Jr.  
**Type** Equipment  
**Useful Life** 10 years  
**Category** Water Distribution System  
**Priority** 5 Future Consideration  
**Status** Active

**Project #** WATER-12-07  
**Project Name** Installation of antena for remote water meter read

**Special Assessable**  
**Fund Number**

**Total Project Cost:** \$40,000

**Description**  
 Installation of an antenna for remote water meter reading

**Justification**  
 This new antenna would mount on a water tower and would read the water meter usage every hour. This information will allow the DPW to better manage water usage for the Village water system.

<b>Expenditures</b>	<b>2014</b>	<b>2015</b>	<b>2016</b>	<b>2017</b>	<b>2018</b>	<b>Total</b>
Equip/Vehicles/Furnishings		40,000				40,000
<b>Total</b>		<b>40,000</b>				<b>40,000</b>

<b>Funding Sources</b>	<b>2014</b>	<b>2015</b>	<b>2016</b>	<b>2017</b>	<b>2018</b>	<b>Total</b>
Operating Funds		40,000				40,000
<b>Total</b>		<b>40,000</b>				<b>40,000</b>

**Budget Impact/Other**  
 Hosting Fees

<b>Budget Items</b>	<b>2014</b>	<b>2015</b>	<b>2016</b>	<b>2017</b>	<b>2018</b>	<b>Total</b>
Contractual Services & Maint		12,000	12,000	12,000	12,000	48,000
<b>Total</b>		<b>12,000</b>	<b>12,000</b>	<b>12,000</b>	<b>12,000</b>	<b>48,000</b>

# Capital Plan

2014 *thru* 2018

## Village of Pleasant Prairie, WI

**Department** 602 Water Utility

**Contact** John Steinbrink, Jr.

**Type** Equipment

**Useful Life** 10 years

**Category** Water Distribution System

**Priority** 5 Future Consideration

**Status** Active

**Total Project Cost:** \$943,000

**Project #** WATER-13-01  
**Project Name** Water Tower Paint

**Special Assessable**

**Fund Number** 602

### Description

2013 - 165 Tower Paint 320K  
 2015 - Timber Ridge Paint 252K  
 2017 - Ladish Tower Paint 371K

### Justification

Painting the water towers every 15 years is part of the normal maintenance required to prevent rust, fading and possible failure.

Prior	Expenditures	2014	2015	2016	2017	2018	Total
320,000	Construction		252,000		371,000		623,000
<b>Total</b>	<b>Total</b>		252,000		371,000		623,000

Prior	Funding Sources	2014	2015	2016	2017	2018	Total
320,000	Operating Funds		252,000		371,000		623,000
<b>Total</b>	<b>Total</b>		252,000		371,000		623,000

### Budget Impact/Other

Water tower is fading and peeling with the potential metal failure. Timely maintenance will reduce the costs overall.

**RESOLUTION #14-04**

**RESOLUTION RELATING TO ADOPTION  
OF 2014 WATER UTILITY BUDGET**

WHEREAS, the Village Board of the Village of Pleasant Prairie, in order to provide water to the residents of the Village of Pleasant Prairie; and,

WHEREAS, the proposed 2014 Budget including operating and capital plans have been presented and discussed publicly at tonight's Village Board meeting, and,

WHEREAS, the adoption of the Water Utility Budget doesn't requires a user fee increase and,

NOW, THEREFORE, BE IT RESOLVED that the Village Board of the Village of Pleasant Prairie hereby adopts the 2014 Water Utility Budget.

Passed and adopted this 3<sup>rd</sup> day of February, 2014.

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John P. Steinbrink, President  
Village of Pleasant Prairie

Attest:

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Jane M. Romanowski, Village Clerk



Consider the request of Bruce and Charmaine Schafernak on behalf of the Charmaine Schafernak Revocable Trust, owner of the property located at 10536 2<sup>nd</sup> Avenue, to allow for an existing 576 square foot detached garage and driveway to be located within the dedicated public walkway adjacent to their property.

**Recommendation:**

Village staff recommends approval of the request subject to compliance with the Village Staff Report of February 3, 2014.

## VILLAGE STAFF REPORT OF FEBRUARY 3, 2014

Consider the request of Bruce and Charmaine Schafernak on behalf of the Charmaine Schafernak Revocable Trust, owner of the property located at 10536 2<sup>nd</sup> Avenue, to allow for an existing 576 square foot detached garage and driveway to be located within the dedicated public walkway adjacent to their property.

*The petitioners are requesting that their detached garage and driveway be allowed to temporarily remain within the Village-owned 20-foot public walkway which is located immediately south of the petitioner's property and north of Chiwaukee Prairie lands, which walkway was dedicated on the final plat of the Carol Beach Estates Unit No. 3 Subdivision in 1948.*

The petitioner, requested and received a Variance from the Village Zoning Board of Appeals on December 17, 2013 from Village Zoning Ordinance Sections 420-46 B and 420-86 B (1) (b) [4] to allow the existing 576 square foot detached garage and driveway to have a zero foot setback to the south side property line wherein a five (5) foot setback is required by Ordinance provided that the Village Board allow the driveway and detached garage to remain within the 20 foot public walkway.

According to the variance application:

- The petitioner purchased the property in September of 2010 from Mrs. Willis C. M. VanDenBergh. The petitioner believed that Mrs. VanDenBergh purchased the home from her son Niels VanDenBergh prior to his death in 2010. Niels VanDenBergh had purchased the home from his brother Rolland VanDenBergh.
- Upon the petitioners consideration of purchasing the property, they indicated to the Village staff that they had questions about the garage and driveway location. Rolland VanDenBergh, the son of Willis C. M. VanDenBergh who was overseeing the sale of the home, assured us that they had a special agreement with the Village of Pleasant Prairie on the public walkway that allowed his family to build the garage and driveway. (The existing staff is not aware of and could not locate any such agreements in the property file.) Mr. VanDenBergh provided a signed and dated Pleasant Prairie Residential Permit/Inspection Permit # 02-05-0011 and a Residential Receipt paid 5/1/02. The Pleasant Prairie Residential Permit/Inspection Log shows the original final inspection signed and dated 5/23/03 by K.R (Senior Building Inspector, Ken Robers).
- The petitioners asked Mr. VanDenBergh to provide something in writing from the Village of Pleasant Prairie showing the approval of the special agreement he had mentioned with the Village. Mr. VanDenBergh provided the petitioner a copy of the inspection log that had been signed by J.S. (Building Inspector, Jeff Sorensen) dated September 8, 2010 confirming the final inspection approval. The same J.S. (Jeff Sorensen) initials are also shown on the bottom left of the document approving the staking of the garage on May 5, 2002. With this documentation, the petitioners believed that the garage and driveway were free and clear of any issues with the Village and purchased the property.

According to the Village records, the Village issued permit #02-05-0011 to Niels VanDenBergh subject to the conditions he signed dated April 16, 2002. Condition #2 of the permit indicated that the garage and driveway shall be setback five feet from side and rear property lines. In addition, according to the drawing submitted with the application, the detached garage and the driveway would be setback five (5) feet from the side property line.

The Village does not require that a plat of survey be submitted to verify setbacks for driveways and garages; however, during the required inspections, the Owner is responsible to have the property lines clearly marked for the Village Inspector to verify the setback locations. Both Inspectors who performed inspections related to the 2002 permit, Ken Robers (KR) and Jeff Sorenson (JS) are no longer employed by the Village. It is likely that the previous property owner showed the Building Inspector the wrong corner property stakes during the inspections. As noted in the Plat of Survey with the 2002 application, adjacent to the property line is a 20-foot wide public walkway. It is likely that the property corner shown to the Inspector was the property stake at the southeast corner of the public walkway not the subject property.

On March 13, 1991, the Village sent a letter to Mr. Roland VanDenBergh, responding to his request to vacate the 20 foot wide public walkway located south of the property. The letter explains that the Village Board denied his request to vacate the public walkway.

According to the variance application, soon after purchasing the property, the petitioners obtained permits to make improvements and bring the house and garage up to current codes and energy efficiencies. They also obtained building permits to add a wood porch at the front and back door. *[A copy of the inspection report for these permits are attached. Note the site plan submitted is the same site plan provided for the 2002 permit, also note that as of December 17, 2013 all inspections for this work have not yet been completed to date and the permit is still open.]*

According to the Variance application to finish the house/property renovation plan, the current owners contacted Grow Rite Landscape to add a brick patio area on the backside of the home and to upgrade the driveway from asphalt to brick. Permit #13-08-132 was issued. Dan Thiele of Grow Rite followed up with Ralph Nichols Senior Building Inspector. Mr. Nichols told Dan Thiele to make sure they read the parameters of the permit to make sure that they conform to all conditions.

Mr. Thiele asked Mr. Nichols if there were any parameters that identified any violations Mr. Nichols stated that the driveway needed to be setback five (5) feet from any property line. Mr. Thiele spoke to Mr. Nichols about the "grandfathering" of the property line based on the prior owner's approved permits from Pleasant Prairie for the current garage and driveway. Mr. Nichols stated that Mr. Thiele should speak with Peggy Herrick Assistant Planner for Pleasant Prairie. A meeting with Jean Werbie-Harris Community Development Director was set up to discuss to permit on October 15, 2013. Jean Werbie-Harris stated the Village does not recognize Mr. VanDenBergh's claims regarding the building and driveway encroachment into the public walkway area, that there was no evidence to substantiate a special agreement with Pleasant Prairie allowing him to build the garage or driveway based on the current location, and that in fact, the drawings submitted by the VanDenBergh's to the Village do not reflect the actual location of the current garage and driveway.

The Plat of Survey dated October 21, 2013 as submitted with the Variance application shows the location of the existing garage and the proposed driveway which the petitioner intends to relocate further north so not to encumber the entire public walkway area.

According to the variance application, the petitioners purchased this property in good faith believing that the property was free and clear of any encumbrances and by doing so moved forward with much needed renovations to their property. By making these improvements, the petitioners believe that they have increased the value of the home which has been positive for the neighboring homes as well.

The petitioners have agreed that a restrictive covenant be placed on their property and further agreed that they shall have the responsibility and financial obligation, without reimbursement from the Village to maintain a minimum of a 10-foot wide mowed pathway

within the 20-foot wide public walkway. Said 10-foot wide pathway, adjacent to the Chiwaukee Prairie lands shall be maintained in perpetuity by the petitioner or subsequent Owners, or successors and assigns of the property located at 10536 2<sup>nd</sup> Avenue. Such maintenance shall include mowing and weeding to avoid a nuisance condition. A further restrictive covenant prohibits storage, garbage containers, fencing, play equipment, signage, wood, compost or mulch piles, or any other structure or material placed in the public walkway which may prevent, inhibit or deter access to the public pathway in the walkway.

**Recommendation:**

The Village staff recommends that the Village Board allow the detached garage and driveway to remain within the Village 20-foot public walkway subject to the above comments and the following conditions:

1. The garage and driveway shall not interfere with the public's access to the pathway of the 20-foot public walkway and . Additionally, the petitioner understands and agrees that the garage and driveway shall be removed and relocated, at the Owner's expense, when the one of the following events occurs:
  - The garage is damaged or destroyed by more than 50% of its assessed value due to an accident or other acts of God; or
  - The Owners fail to maintain, to the Village's satisfaction, a minimum of a 10-foot wide mowed pathway within the 20-foot wide public walkway adjacent to the garage and driveway. Said 10-foot wide pathway, located immediately adjacent to the Chiwaukee Prairie lands shall be maintained in perpetuity by the Owners or subsequent Owners, or successors and assigns of the property. Such maintenance shall include mowing and weeding to avoid a nuisance condition. A further restrictive covenant in the 20-foot walkway prohibits storage, garbage containers, fencing, play equipment, signage, wood, compost or mulch piles, fencing or any other structure or material placed in the 10-foot wide pathway within the 20-foot public walkway which may prevent, inhibit or deter access.
2. The Owners understand that the garage and driveway shall not be enlarged, modified or replaced in any way to create a greater degree of encroachment in the 20-foot public walkway, while it is located within the 20-foot public walkway, however; the Owners may be allowed to conduct minor maintenance to the garage or driveway. The Owners may at any time, voluntarily remove the garage and driveway with proper razing and erosion control permits from the Village or may relocate the garage and driveway to a compliant location on the property after obtaining the required permits from the Village.
3. Should the garage become damaged or needs to be removed, the Village will not have any financial obligation or be a responsible party due to any damages, vandalism or the removal of the garage.
4. The Owners and all future Owners of the property, on behalf of themselves and their heirs, successors and representatives (the "Indemnifying Parties") shall indemnify and hold harmless the Village, its trustees, employees, consultants, contractors, agents and successors in interest (the "Indemnified Parties"), from and against any and all claims, liabilities, causes of action, bodily injuries, property damage, attorney's fees, expenses, court costs and losses incurred by any of the Indemnified Parties and arising out of, or relating to, the location, maintenance and public access use of the 20-foot wide public walkway and the owners detached garage or driveway described above and located in the 20-foot public walkway located immediately south

10536 2<sup>nd</sup> Avenue, and in collecting any amounts due under this Agreement from any of the Indemnifying Parties.

5. The Owners shall execute the ***attached*** Waiver of Liability and Indemnification, Hold Harmless Agreement and Restrictive Covenant that outlined the above conditions. This Agreement shall be binding upon the Owners, its successors and assigns, and any successors-in-title of land in interest for the property.
6. The owners shall provide to the Village a legal description of the 20-foot public walkway to be included in the Waiver of Liability and Indemnification, Hold Harmless Agreement and Restrictive Covenant
7. Subject to compliance with the Village Zoning Board of approval related to the Variance granted on December 17, 2013.



**WAIVER OF LIABILITY AND  
INDEMNIFICATION, HOLD  
HARMLESS AGREEMENT AND  
RESTRICTIVE COVENANT**

**Return to:**

Village of Pleasant Prairie  
9915 39<sup>th</sup> Avenue  
Pleasant Prairie, WI 53158

**Tax Parcel Number:**

93-4-123-292-0070

**THIS INDEMNIFICATION** is being made this \_\_\_\_ day of \_\_\_\_\_, 2014 between Bruce and Charmaine Schafernak on behalf of the Charmaine Schafernak Revocable Trust, referred to as the "Owners", and the Village of Pleasant Prairie, Wisconsin, hereinafter referred to as the "Village" regarding the Owner's property located at 10536 2<sup>nd</sup> Avenue and the 20-foot wide public walkway located in the Village of Pleasant Prairie, Wisconsin as legally described below:

**Legal Description of Owners Property:** Lot 14 in Block 30 of Carol Beach Estate Unit No. 3 of U. S. Public Land Survey Sections 29 and 30 being a subdivision of part of the Northwest fractional quarter of U.S. Public Land Survey Section 29 and the East half of U.S. Public Land Survey Section 30, Township 1 North, Range 23 East of the Fourth Principal Meridian, and lying and being in the Village of Pleasant Prairie, County of Kenosha, State of Wisconsin.

**Legal Description of 20-foot Public Walkway:** (insert legal)

**WHEREAS,** the Owners are requesting that their detached garage and driveway shown on **Exhibit 1** be allowed to temporarily remain within the Village-owned 20-foot public walkway which is located immediately south of the Owner's property and north of Chiwaukee Prairie lands, which walkway was dedicated on the final plat of the Carol Beach Estates Unit No. 3 Subdivision; and

**WHEREAS,** the Owners, with a property address of 10536 2<sup>nd</sup> Avenue, requested and received a Variance from the Village Zoning Board of Appeals on December 17, 2013 from Village Zoning Ordinance Sections 420-46 B and 420-86 B (1) (b) [4] to allow the existing 576 square foot detached garage and driveway to have a zero foot setback to the south side property line wherein a five (5) foot setback is required by Ordinance; and

**WHEREAS,** the Village Board of Trustees at their February 3, 2014 meeting was requested by the Owners to consider allowing their detached garage and driveway to be

located on the Village's property (within the 20-foot wide public walkway area adjacent to the Chiwaukee Prairie); and

**WHEREAS**, according to the variance application the Owners purchased the property in September of 2010 from Mrs. Willis C. M. VanDenBergh. The Owners believed that Mrs. VanDenBergh purchased the home from her son Niels VanDenBergh prior to his death in 2010. Niels VanDenBergh had purchased the home from his brother Rolland VanDenBergh; and

**WHEREAS**, according to the variance application upon the Owners consideration of purchasing the property, they indicated to the Village staff that they had questions about the garage and driveway location. Rolland VanDenBergh, the son of Willis C. M. VanDenBergh who was overseeing the sale of the home, assured us that they had a special agreement with the Village of Pleasant Prairie on the public walkway that allowed his family to build the garage and driveway. (The existing staff is not aware of and could not locate any such agreements in the property file.) Mr. VanDenBergh provided a signed and dated Pleasant Prairie Residential Permit/Inspection Permit # 02-05-0011 and a Residential Receipt paid 5/1/02. The Pleasant Prairie Residential Permit/Inspection Log shows the original final inspection signed and dated 5/23/03 by K.R (Senior Building Inspector, Ken Robers).

Furthermore, the Owners asked Mr. VanDenBergh to provide something in writing from the Village of Pleasant Prairie showing the approval of the special agreement he had mentioned with the Village. Mr. VanDenBergh provided the current owner a copy of the inspection log that had been signed by J.S. (Building Inspector, Jeff Sorensen) dated September 8, 2010 confirming the final inspection approval. The same J.S. (Jeff Sorensen) initials are also shown on the bottom left of the document approving the staking of the garage on May 5, 2002. With this documentation, the Owners believed that the garage and driveway were free and clear of any issues with the Village and purchased the property; and

**WHEREAS**, according to the Village records, the Village issued permit #02-05-0011 to Niels VanDenBergh subject to the conditions he signed dated April 16, 2002. Condition #2 of the permit indicated that the garage and driveway shall be setback five feet from side and rear property lines. In addition, according to the drawing submitted with the application, the detached garage and the driveway would be setback five (5) feet from the side property line; and

**WHEREAS**, the Village does not require that a plat of survey be submitted to verify setbacks for driveways and garages; however, during the required inspections, the Owner is responsible to have the property lines clearly marked for the Village Inspector to verify the setback locations. Both Inspectors who performed inspections related to the 2002 permit, Ken Robers (KR) and Jeff Sorenson (JS) are no longer employed by the Village. It is likely that the previous property owner showed the Building Inspector the wrong corner property stakes during the inspections. As noted in the Plat of Survey with the 2002 application, adjacent to the property line is a 20-foot wide public walkway. It is likely that the property corner shown to the Inspector was the property stake at the southeast corner of the public walkway not the subject property; and

**WHEREAS**, on March 13, 1991, the Village sent a letter to Mr. Roland VanDenBergh, responding to his request to vacate the 20 foot wide public walkway located south of the property. The letter explains that the Village Board denied his request to vacate the public walkway; and

**WHEREAS**, according to the variance application, soon after purchasing the property, the Owners obtained permits to make improvements and bring the house and garage up to current codes and energy efficiencies. They also obtained building permits to add a wood porch at the front and back door; and

**WHEREAS**, according to the variance application, to finish the house/property renovation plan, the current owners contacted Grow Rite Landscape to add a brick patio area on the backside of the home and to upgrade the driveway from asphalt to brick. Permit #13-08-132 was issued. Dan Thiele of Grow Rite followed up with Ralph Nichols Senior Building Inspector. Mr. Nichols told Dan Thiele to make sure they read the parameters of the permit to make sure that they conform to all conditions; and

Mr. Thiele asked Mr. Nichols if there were any parameters that identified any violations Mr. Nichols stated that the driveway needed to be setback five (5) feet from any property line. Mr. Thiele spoke to Mr. Nichols about the "grandfathering" of the property line based on the prior owner's approved permits from Pleasant Prairie for the current garage and driveway. Mr. Nichols stated that Mr. Thiele should speak with Peggy Herrick Assistant Planner for Pleasant Prairie. A meeting with Jean Werbie-Harris Community Development Director was set up to discuss to permit on October 15, 2013. Jean Werbie-Harris stated the Village does not recognize Mr. VanDenBergh's claims regarding the building and driveway encroachment into the public walkway area, that there was no evidence to substantiate a special agreement with Pleasant Prairie allowing him to build the garage or driveway based on the current location, and that in fact, the drawings submitted by the VanDenBergh's to the Village do not reflect the actual location of the current garage and driveway; and

**WHEREAS**, the Plat of Survey dated October 21, 2013 as submitted with the Variance application (**Exhibit 1**) shows the location of the existing garage and the proposed driveway which the owners intend to relocate further north so not to encumber the entire public walkway area; and

**WHEREAS**, according to the variance application, the Owners purchased this property in good faith believing that the property was free and clear of any encumbrances and by doing so moved forward with much needed renovations to their property. By making these improvements, the Owners believe that they have increased the value of the home which has been positive for the neighboring homes as well; and.

**WHEREAS**, the Owners have agreed that a restrictive covenant be placed on the Owners property that the Owners shall have the responsibility and financial obligation, without reimbursement from the Village to maintain a minimum of a 10-foot wide mowed pathway within the 20-foot wide public walkway. Said 10-foot wide pathway, adjacent to the Chiswaukee Prairie lands shall be maintained in perpetuity by the Owners or subsequent Owners, or successors and assigns of the property. Such maintenance shall include mowing and weeding to avoid a nuisance condition. A further restrictive covenant prohibits storage, garbage containers, fencing, play equipment, signage, wood, compost or mulch piles, or any other structure or material placed in the public walkway which may prevent, inhibit or deter access to the public pathway in the walkway; and.

**WHEREAS**, the Village has agreed to allow for the detached garage and driveway to remain in the dedicated 20-foot public walkway as shown on **Exhibit 1** on a temporary basis subject to executing and complying with the obligations set forth in this *Waiver of Liability and Waiver of Liability, Hold Harmless, Indemnification and Restrictive Covenant Agreement*.



**NOW, THEREFORE, IN CONSIDERATION OF THE FOREGOING;  
IT IS HEREBY AGREED:**

The Village will allow the detached garage and driveway to remain within the Village 20-foot public walkway provided that the garage and driveway do not interfere with the public's access to the pathway of the 20-foot public walkway. Additionally, the Owners understand and agree that the garage and driveway shall be removed and relocated, at the Owner's expense, when the one of the following events occurs:

1. The garage is damaged or destroyed by more than 50% of its assessed value due to an accident or other acts of God; or
2. The Owners fail to maintain, to the Village's satisfaction, a minimum of a 10-foot wide mowed pathway within the 20-foot wide public walkway adjacent to the garage and driveway. Said 10-foot wide pathway, located immediately adjacent to the Chiwaukee Prairie lands shall be maintained in perpetuity by the Owners or subsequent Owners, or successors and assigns of the property. Such maintenance shall include mowing and weeding to avoid a nuisance condition. A further restrictive covenant in the 20-foot walkway prohibits storage, garbage containers, fencing, play equipment, signage, wood, compost or mulch piles, fencing or any other structure or material placed in the 10-foot wide pathway within the 20-foot public walkway which may prevent, inhibit or deter access.

The Owners understand that the garage and driveway shall not be enlarged, modified or replaced in any way to create a greater degree of encroachment in the 20-foot public walkway, while it is located within the 20-foot public walkway, however; the Owners may be allowed to conduct minor maintenance to the garage or driveway. The Owners may at any time, voluntarily remove the garage and driveway with proper razing and erosion control permits from the Village or may relocate the garage and driveway to a compliant location on the property after obtaining the required permits from the Village.

Should the garage become damaged or needs to be removed, the Village will not have any financial obligation or be a responsible party due to any damages, vandalism or the removal of the garage.

Additionally, the Owners and all future Owners of the property, on behalf of themselves and their heirs, successors and representatives (the "Indemnifying Parties") shall indemnify and hold harmless the Village, its trustees, employees, consultants, contractors, agents and successors in interest (the "Indemnified Parties"), from and against any and all claims, liabilities, causes of action, bodily injuries, property damage, attorney's fees, expenses, court costs and losses incurred by any of the Indemnified Parties and arising out of, or relating to, the location, maintenance and public access use of the 20-foot wide public walkway and the owners detached garage or driveway described above and located in the 20-foot public walkway located immediately south 10536 2<sup>nd</sup> Avenue, and in collecting any amounts due under this Agreement from any of the Indemnifying Parties.

This Agreement shall be binding upon the Owners, its successors and assigns, and any successors-in-title of land in interest for the property.

**IN WITNESS WHEREOF**, the parties have executed this Indemnification Agreement on the \_\_\_\_\_ day of \_\_\_\_\_, 2014.

*[Signatures are on next page]*

**OWNERS:-Charmaine Schafernak Revocable Trust:**

\_\_\_\_\_  
Bruce Schafernak

\_\_\_\_\_  
Charmaine Schafernak

ACKNOWLEDGEMENT)  
STATE OF WISCONSIN) SS  
COUNTY OF KENOSHA)

Personally came before me this \_\_\_\_ day of \_\_\_\_\_, 2014, in Pleasant  
Prairie, Wisconsin the above named **Bruce Schafernak and Charmaine Schafernak**, to  
me known as representatives of the **Charmaine Schafernak Revocable Trust** who  
executed the foregoing instrument and acknowledged the same.

\_\_\_\_\_  
Notary Signature

Print Name \_\_\_\_\_

Notary Public \_\_\_\_\_ County, \_\_\_\_\_

My Commission Expires \_\_\_\_\_

**VILLAGE OF PLEASANT PRAIRIE:**

ATTEST:

\_\_\_\_\_  
John P. Steinbrink  
Village President

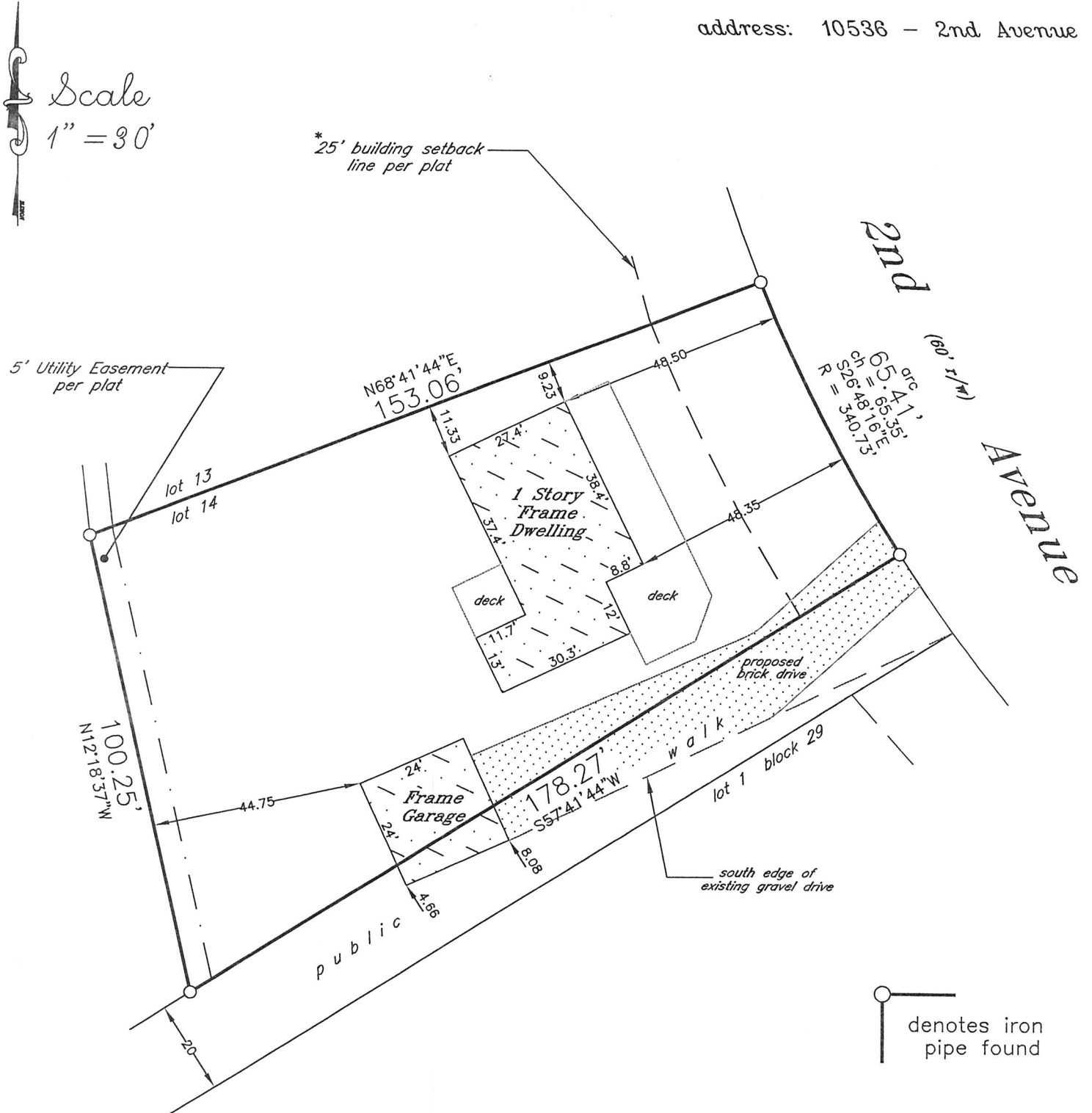
\_\_\_\_\_  
Jane M. Romanowski  
Village Clerk

**Document Drafted by:**

Jean M. Werbie-Harris  
Community Development Director  
Village of Pleasant Prairie  
9915 39<sup>th</sup> Avenue  
Pleasant Prairie, Wisconsin 53158

# Exhibit 1

address: 10536 - 2nd Avenue



\* May be superceded by local ordinance

tax key no.: 93-4-123-292-0070

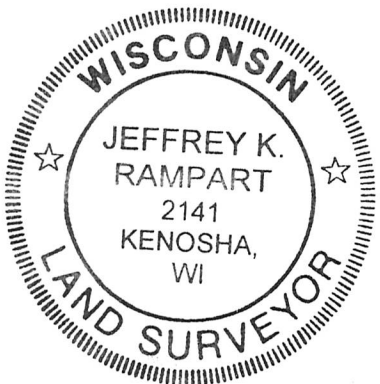
Refer to a current title report for easements or restrictions which may affect the use of this site that are not shown on the recorded subdivision plat.

J.K.R. SURVEYING, INC.  
8121 22ND AVENUE  
KENOSHA, WI 53143

Plat of Survey of  
LOT 14 BLOCK 30 IN  
CAROL BEACH ESTATES UNIT NO. 3  
in NW1/4 Section 29-1-23  
VILLAGE OF PLEASANT PRAIRIE  
KENOSHA COUNTY, WIS.

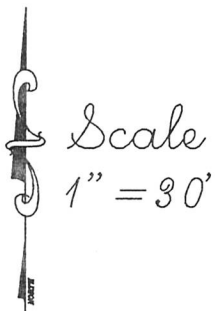
I hereby certify that this property was surveyed under my direction and this plat is a true representation thereof.

*[Signature]*  
Reg. Land Surveyor  
October 21, 2013



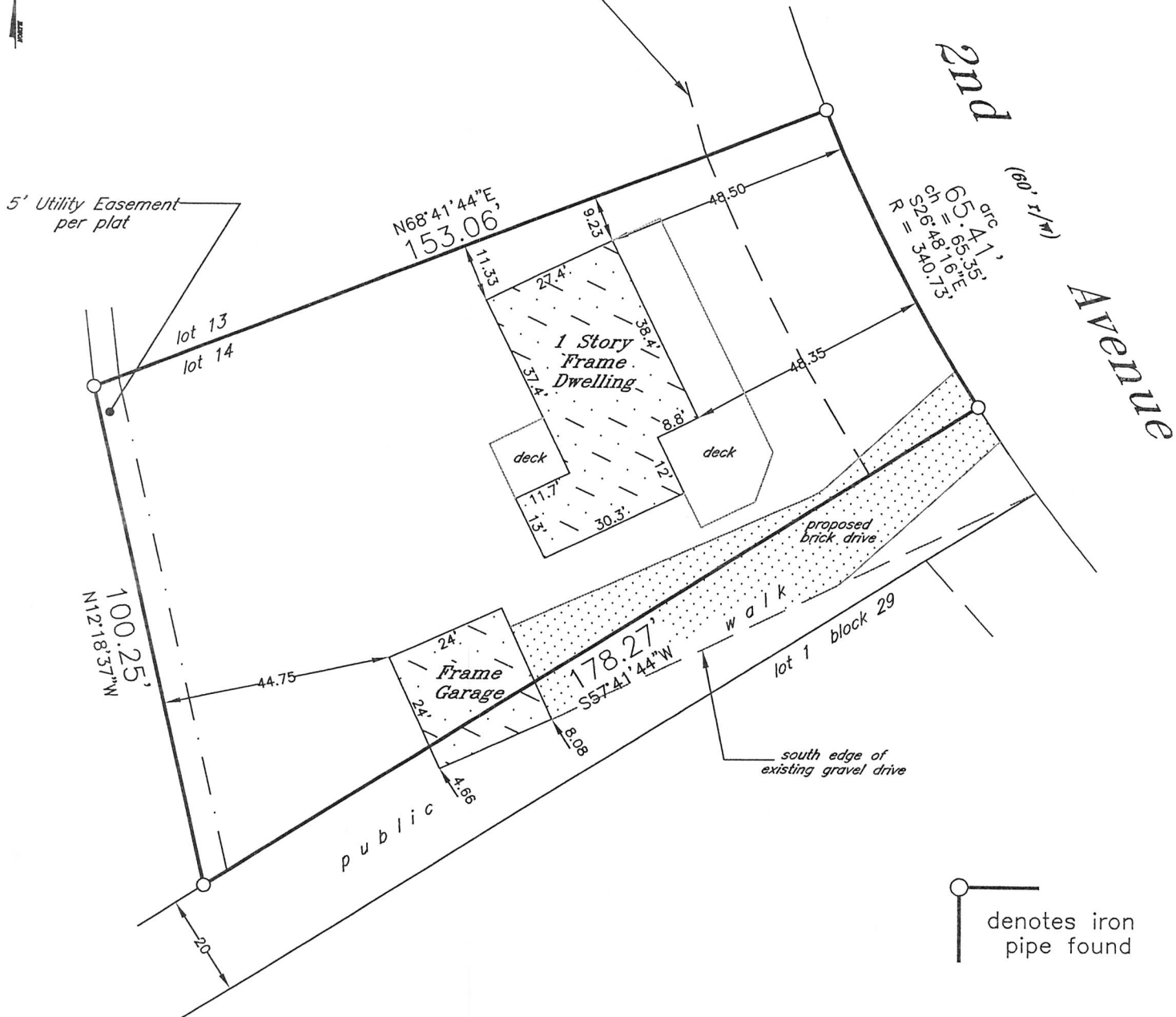
-for-  
Grow Rite

address: 10536 - 2nd Avenue



5' Utility Easement per plat

\*25' building setback line per plat



denotes iron pipe found

\* May be superceded by local ordinance

tax key no.: 93-4-123-292-0070

Refer to a current title report for easements or restrictions which may affect the use of this site that are not shown on the recorded subdivision plat.

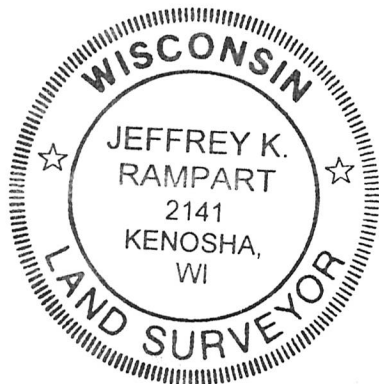
J.K.R. SURVEYING, INC.  
8121 22ND AVENUE  
KENOSHA, WI 53143

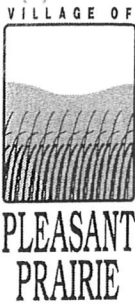
Plat of Survey of  
LOT 14 BLOCK 30 IN  
CAROL BEACH ESTATES UNIT NO. 3  
in NW1/4 Section 29-1-23  
VILLAGE OF PLEASANT PRAIRIE  
KENOSHA COUNTY, WIS.

I hereby certify that this property was surveyed under my direction and this plat is a true representation thereof.

*[Signature]*  
Reg. Land Surveyor  
October 21, 2013

-for-  
Grow Rite





Filed 10/17 2013 Published 11/4 2013  
 Public Hearing 11/19 2013  
 Fee Paid 10/17 2013 Approved \_\_\_\_\_ 20\_\_\_\_  
 Notices Mailed 10/31 2017 Denied \_\_\_\_\_ 20\_\_\_\_

**VILLAGE OF PLEASANT PRAIRIE, WISCONSIN  
 ZONING ORDINANCE--VARIANCE PETITION APPLICATION**

To: Village Zoning Board of Appeals:

420-46B

I (We) hereby request a variance from Section(s) 420-86B(6)[4] of the Village Zoning Ordinance to: Move the egress 10 feet to the North on 2nd Avenue.  
(specifically describe the dimensional variance requested)

on the property located at 10536 2nd Avenue and legally described as: Lot 14 in Block 30 of CAROL BEACH ESTATES UNIT NO. 3

Tax Parcel Numbers: 93-4-123-292-0070

I (We) have attached a written statement that explains the following information:

1. Explain the special site conditions on the property that requires the requested variance and explain how these conditions restrict the property so that in the absent of the variance there is no reasonable use of the property.
2. Explain the unnecessary hardships or practical difficulties that would result on the property if the variance is not granted.

I (We), have contacted the Community Development Department to arrange a pre-application meeting to discuss the proposed request with the Village staff to determine additional information that may be needed to consider the request.

I, (We), hereby certify that all the above statements and attachments submitted herewith are true and correct to the best of my knowledge.

**PROPERTY OWNER:**

Print Name: Bruce & Charmaine Schafernak  
 Signature: [Signature]  
 Address: P.O. Box 6387  
Libertyville IL 60048-6387  
 (City) (State) (Zip)  
 Phone: 847.612.7971  
 Fax: \_\_\_\_\_  
 Date: 10/17/2013

**OWNER'S AGENT:**

Print Name: \_\_\_\_\_  
 Signature: \_\_\_\_\_  
 Address: \_\_\_\_\_  
 (City) (State) (Zip)  
 Phone: \_\_\_\_\_  
 Fax: \_\_\_\_\_  
 Date: \_\_\_\_\_

Bruce and Charmaine Schafernak

10536 2<sup>nd</sup> Ave. Pleasant Prairie, WI

Date: 10-17-13

- My wife Charmaine and I purchased the property 10536 2nd Ave. Pleasant Prairie, WI in September of 2010 from Mrs. Willis C. M. VanDenBergh. From my understanding, Mrs. VanDenBergh purchased the home from her son Niels VanDenBergh prior to his death in 2010. Niels VanDenBergh had purchased the home from his brother Rolland VanDenBergh.
- Upon our consideration of purchasing the property, we had questions about the garage and driveway location.
- Rolland VanDenBergh, the son of Willis C. M. VanDenBergh who was overseeing the sale of the home, assured us that they had a special agreement with the Village of Pleasant Prairie on the easement that allowed his family to build the garage and driveway.
- Mr. VanDenBergh provided a signed and dated Pleasant Prairie Residential Permit / Inspection Log Permit # 02-05-0011 and a Residential Receipt paid 5/1/02 (per the attached). The Pleasant Prairie Residential Permit / Inspection Log shows the original final inspection signed and dated 5/23/03 by K.R.
- We asked Mr. VanDenBergh that before we closed on the property that he provide something in writing from the Village of Pleasant Prairie showing the approval of the special agreement he had mentioned with the Village.
- Mr. VanDenBergh went to the Village with the Pleasant Prairie Residential Permit / Inspection Log and had it signed again by a J.S. DATED 9/8/10 confirming the final inspection approval. The same (J.S.) initials are also shown on the bottom left of the document approving the staking of the garage on 5/3/02.
- Both my wife and I believed that the home was free and clear of any issues with the Village of Pleasant Prairie and went ahead and purchased the home.
- Soon after, we pulled permits to make improvements and bring the home and garage up to current codes and energy efficiencies.
- We also pulled a permit for a wood porch for the front and back door.
- To finish our home renovation plan we contacted Grow Rite Landscape in Pleasant Prairie to add a brick patio area on the backside of the home and to upgrade the driveway from asphalt to brick.
- Grow Rite created plans and submitted them to Pleasant Prairie for a permit. The plans (per attached) were to remove the current asphalt driveway and replace with brick. Pleasant Prairie approved the plans and issued permit # 13-08-132.

- Grow Rite completed the patio area behind the home and continued to the driveway. The driveway work is nearly complete.
- Dan Thiele of Grow Rite followed up with Ralph Nichols Senior Building Inspector of Pleasant Prairie. Mr. Nichols told Dan Thiele to make sure they read the parameters of the permit to make sure that they conform to all.
- Mr. Thiele asked Mr. Nichols if there were any parameters that we would be in violation of.
- Mr. Nichols stated that the driveway needs to be 5' from any property line.
- Mr. Thiele spoke to Mr. Nichols about the "grandfathering" of the property line based on the prior owner's approved permits from Pleasant Prairie for the current garage and driveway.
- Mr. Nichols stated that Mr. Thiele should speak with Peggy Herrick Assistant Planner in Zoning at Pleasant Prairie. After talking with Dan Thiele, I spoke with Peggy and she set up a meeting with Jean Werbie-Harris Community Development Director.
- I met with Jean Werbie- Harris Community Development Director and Zoning Staff, and Terry Klein from Grow Rite on October 15th to discuss the issues regarding our driveway plan.
- Jean Werbie-Harris stated the Village does not recognize Mr. Vanderbergh's claims regarding the property line, that there was never a special agreement with Pleasant Prairie allowing him to build the garage or driveway based on the current location, and that in fact the drawings submitted by the Vandenberg's to the Village do not reflect the actual location of the current garage and driveway.
- The Village deems that the current garage and driveway are in violation of building code 420-86 B(b)[4] and 420-46B.

My wife and I purchased this home in good faith that the property was free and clear of any encumbrances and by doing so moved forward with much needed renovations to our property.

By making these improvements we have increased the value of the home which has been a positive for the neighboring homes as well.

This home is planned for our aging family members so that they will be close to us.

We are now faced with possible removal of the garage and driveway, which would severely affect the use of this property.

We are applying for a Variance Petition and would appreciate your consideration in granting our request.

Sincerely, Bruce and Charmaine Schafernak

# PLEASANT PRAIRIE RESIDENTIAL PERMIT/INSPECTION LOG

OWNER: Jordenbergh Raven, E. Eld  
 MAILING ADDRESS: \_\_\_\_\_  
 CITY/STATE/ZIP: \_\_\_\_\_  
 PHONE NUMBER: ( ) - 697-9411

PROPERTY ADDRESS: 10536 2nd Ave  
 TAX PARCEL #: 93-4-123-292-0070  
 LOT/BLOCK/CSM#: \_\_\_\_\_  
 PERMIT TYPE: Garage & Driveway

PERMIT NUMBER	ISSUE DATE	CONTRACTOR NAME/ADDRESS	CONTRACTOR PHONE
BLDG: <u>02-05-0011</u>	<u>5-1-02</u>	<u>Best Built Garage</u>	( ) - <u>697-9411</u>
S&W:			( ) - -
HVAC:			( ) - -
ELEC:			( ) - -
PLUMB:			( ) - -
OTHER:			( ) - -

## INSPECTION RECORD

	1ST INSPECTION	REINSPECTION	REINSPECTION	REINSPECTION
EROSION CONTROL	PORF / /	PORF / /	PORF / /	PORF / /
FOOTING	PORF / /	PORF / /	PORF / /	PORF / /
FOUNDATION/BACKFILL	PORF / /	PORF / /	PORF / /	PORF / /
SETBACKS	PORF / /	TOP OF FOUNDATION	PORF / /	
UNDERGROUND PLUMBING	PORF / /	PORF / /	PORF / /	PORF / /
FLOOR/GARAGE SLAB	PORF / /	PORF / /	PORF / /	PORF / /
ELECTRIC SERVICE	PORF / /	PORF / /	PORF / /	PORF / /
ROUGH CARPENTRY	PORF / /	PORF / /	PORF / /	PORF / /
ROUGH HVAC	PORF / /	PORF / /	PORF / /	PORF / /
ROUGH ELECTRIC	PORF / /	PORF / /	PORF / /	PORF / /
ROUGH PLUMBING	PORF / /	PORF / /	PORF / /	PORF / /
INSULATION	PORF / /	PORF / /	PORF / /	PORF / /
STORM SEWER LATERAL	PORF / /	PORF / /	PORF / /	PORF / /
SANITARY SEWER LATERAL	PORF / /	PORF / /	PORF / /	PORF / /
WATER LATERAL	PORF / /	PORF / /	PORF / /	PORF / /
FINAL GRADE SURVEY	PORF / /	PORF / /	PORF / /	PORF / /
FINAL INSPECTION	<u>PORF 5/23/02</u>	<u>PORF 9/8/02</u>	PORF / /	PORF / /
STOP WORK ORDER POSTED	PORF / /	PORF / /	PORF / /	PORF / /

(INSPECTION NOTES ON BACK PAGE OF INSPECTION LOG)

*Handwritten notes:*  
 Garage Slab  
 Pass 5-3-02  
 55



Village of  
Pleasant Prairie  
9915 39TH AVENUE  
Pleasant Prairie, WI 53158  
(262)-694-9384

PERMIT # 02-05-0011  
RECEIPT # 02-00011  
WEEK # 18  
RESIDENTIAL RECEIPT  
Wednesday  
05/01/02  
13:04:08

OWNER: EILLD C M VANDENBERGH RAVEN  
Parcel # 93-4-123-292-0070-0  
Structure & Usage: garage  
10536 2ND AVENUE  
PLEASANT PRAIRIE, WI 53158  
262-697-9411

CONTRACTOR: BEST BUILT GARAGE

OB LOCATION: 10536 - 2ND AVENUE

Permit Fee Description	Account Distribution #	Amount
PLAN REVIEW-ADDITIONS	100.443001.000000	50.00
Zoning Acc Stry (-150 sq.ft)	100.443001.000000	10.00
Access struct (-150 sq ft)	100.443001.000000	57.60
<i>Driveway</i>	100.443001.000000	30.00

Please Pay This Amount -)

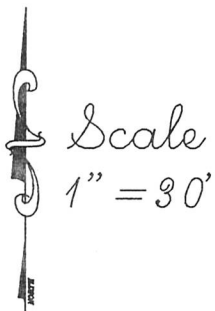
Amount Received

*col*  
\$7.60  
*147.60*  
**PAID**

**PAID**  
MAY 1 2002  
VILL  
PLEASANT PRAIRIE

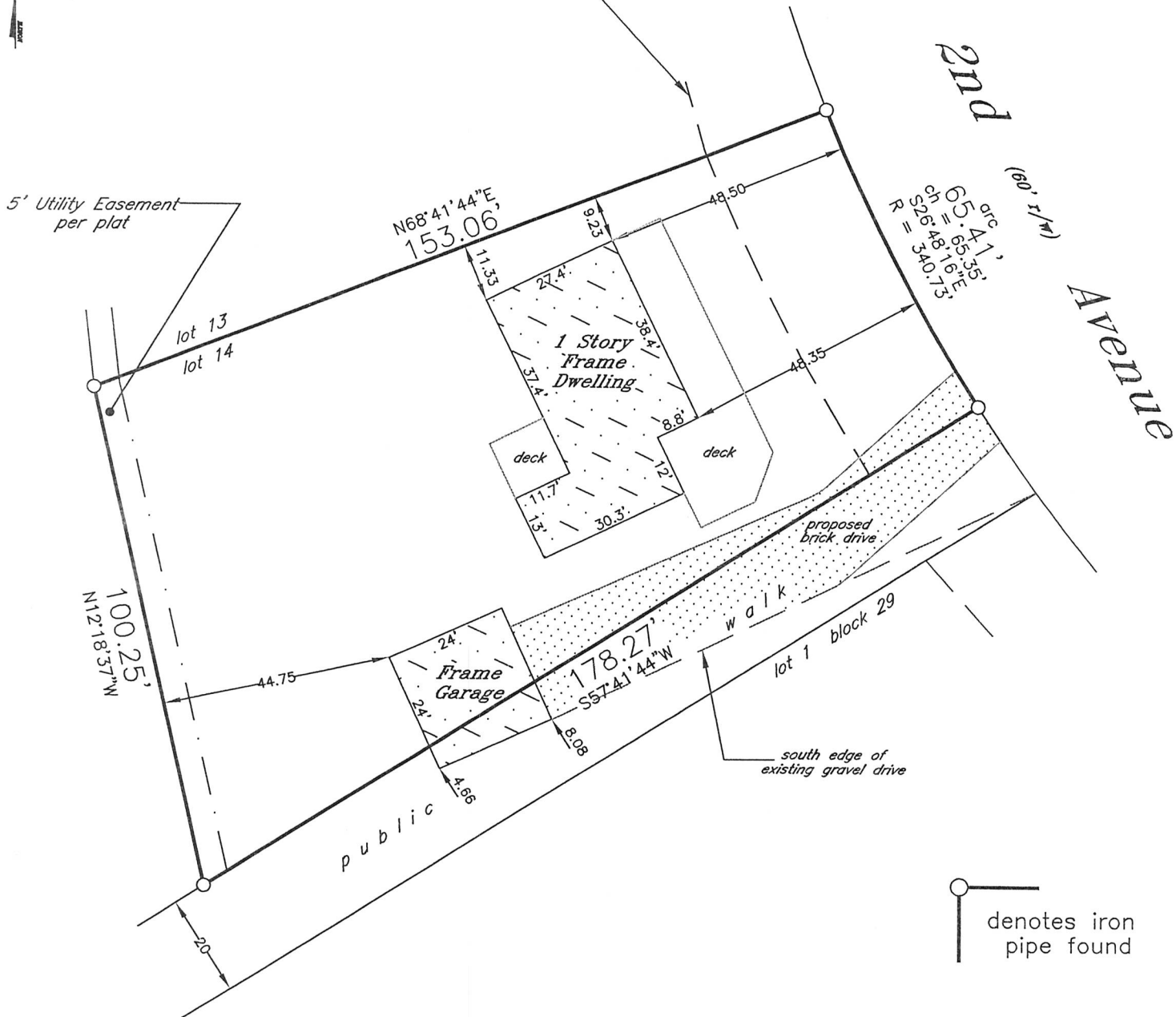
Received By : Laura

address: 10536 - 2nd Avenue



5' Utility Easement per plat

\*25' building setback line per plat



denotes iron pipe found

\* May be superceded by local ordinance

tax key no.: 93-4-123-292-0070

Refer to a current title report for easements or restrictions which may affect the use of this site that are not shown on the recorded subdivision plat.

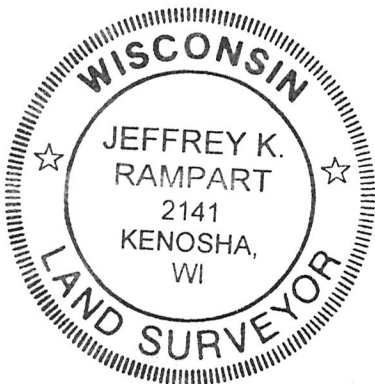
J.K.R. SURVEYING, INC.  
8121 22ND AVENUE  
KENOSHA, WI 53143

Plat of Survey of  
LOT 14 BLOCK 30 IN  
CAROL BEACH ESTATES UNIT NO. 3  
in NW1/4 Section 29-1-23  
VILLAGE OF PLEASANT PRAIRIE  
KENOSHA COUNTY, WIS.

I hereby certify that this property was surveyed under my direction and this plat is a true representation thereof.

*[Signature]*  
Reg. Land Surveyor  
October 21, 2013

-for-  
Grow Rite



October 17, 2013

Plans for the Schafernak Residence  
10536 2<sup>nd</sup> Ave.  
Pleasant Prairie, Wi

Attached are the original plans for the paver driveway. The amended drawing in 'red' would be a change to adjust the paver driveway by moving it to the north.

Note that the original plan was to replace the existing asphalt with pavers without changing the location of the existing driveway.

Terry Klein  
Grow Rite Landscape  
5535 Springbrook Rd.  
Pleasant Prairie, Wi 53158  
(262)694-6320

Garage

Add (2) pieces of out-crop as a step

Double GOC solder border (Lg rectangle) Color River blend 0.5" x 2 wide.

Drink along out corner to the appropriate area

Decorative

Flowers will need to be placed between the deck and the concrete footings to keep the deck level.

Out-cropping to be similar to existing.

Out-cropping to be similar to existing.

Aluminum edging along the outside edge of the washed stone bed.

Bury downspout

(2) pieces of out-cropping for steps. Each piece is 3'-4" long.

Existing round



3028 Springwood Rd  
Pleasant Prairie, WI 53156  
(262) 664-6220

FOR THE PROJECT AND DESIGN, THE CLIENT HAS AGREED TO PAY THE DESIGNER A FEE OF \$1,000.00. THIS FEE IS NON-REFUNDABLE AND WILL BE PAID UPON SIGNATURE OF THIS PLAN. THE DESIGNER'S LIABILITY IS LIMITED TO THE DESIGN AND CONSTRUCTION OF THE LANDSCAPE. THE DESIGNER IS NOT RESPONSIBLE FOR ANY OTHER ASPECTS OF THE PROJECT.

TERRY J. KLEN  
Landscape Designer

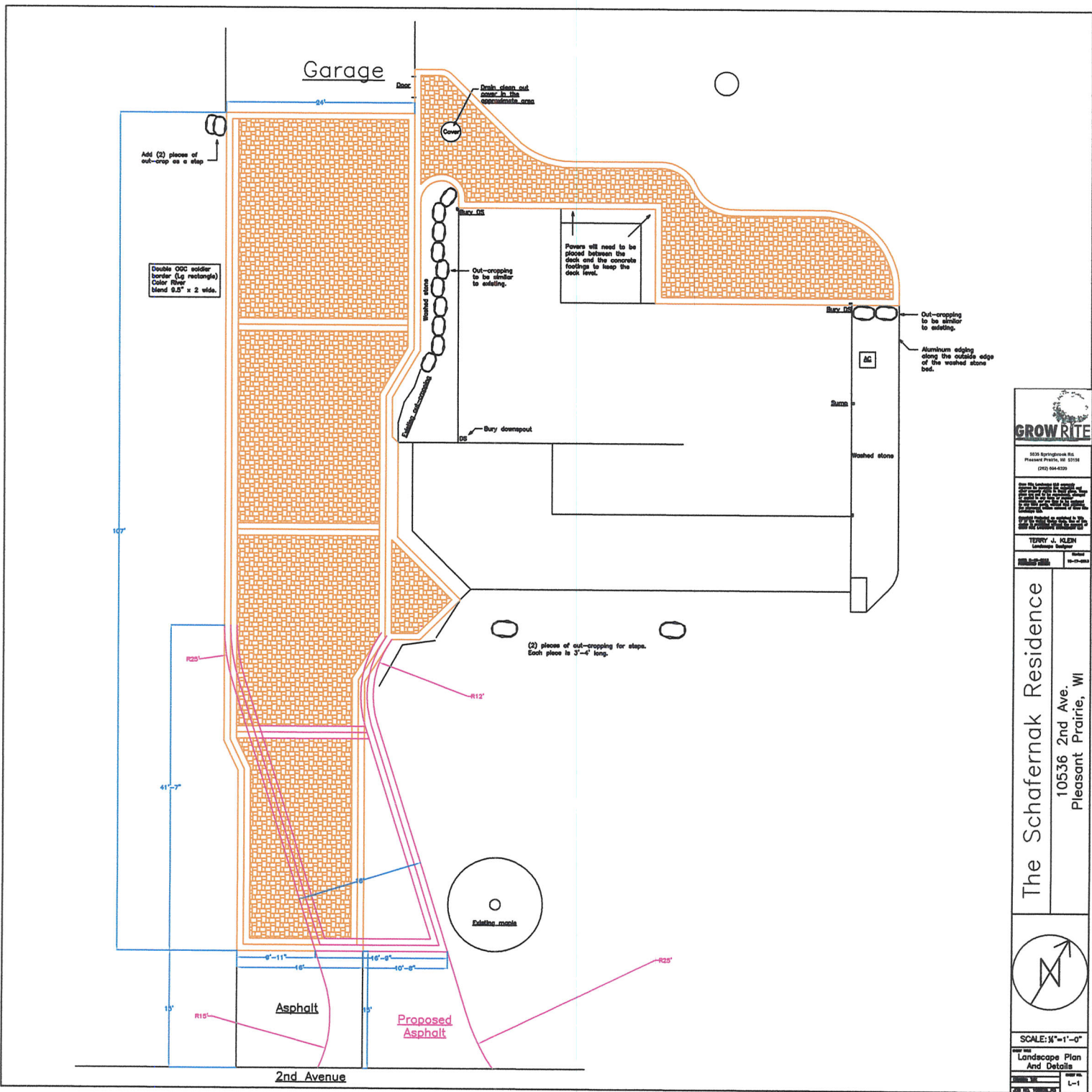
The Schafernak Residence  
10536 2nd Ave.  
Pleasant Prairie, WI

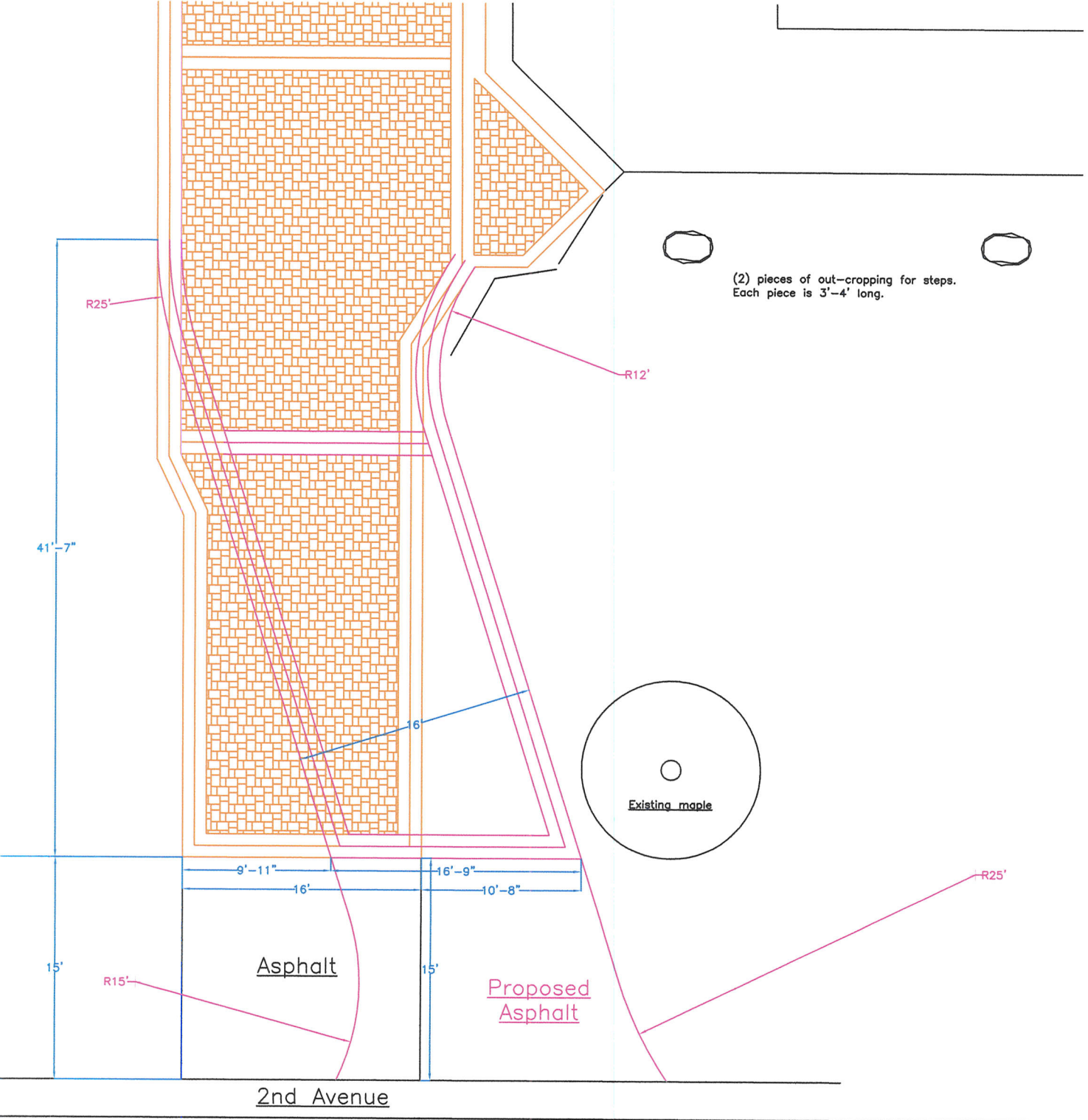


SCALE: 1"=1'-0"

LANDSCAPE PLAN  
AND DETAILS

DATE: 10/15/2014  
SHEET: 1-1





Garage

Door

24'

Cover

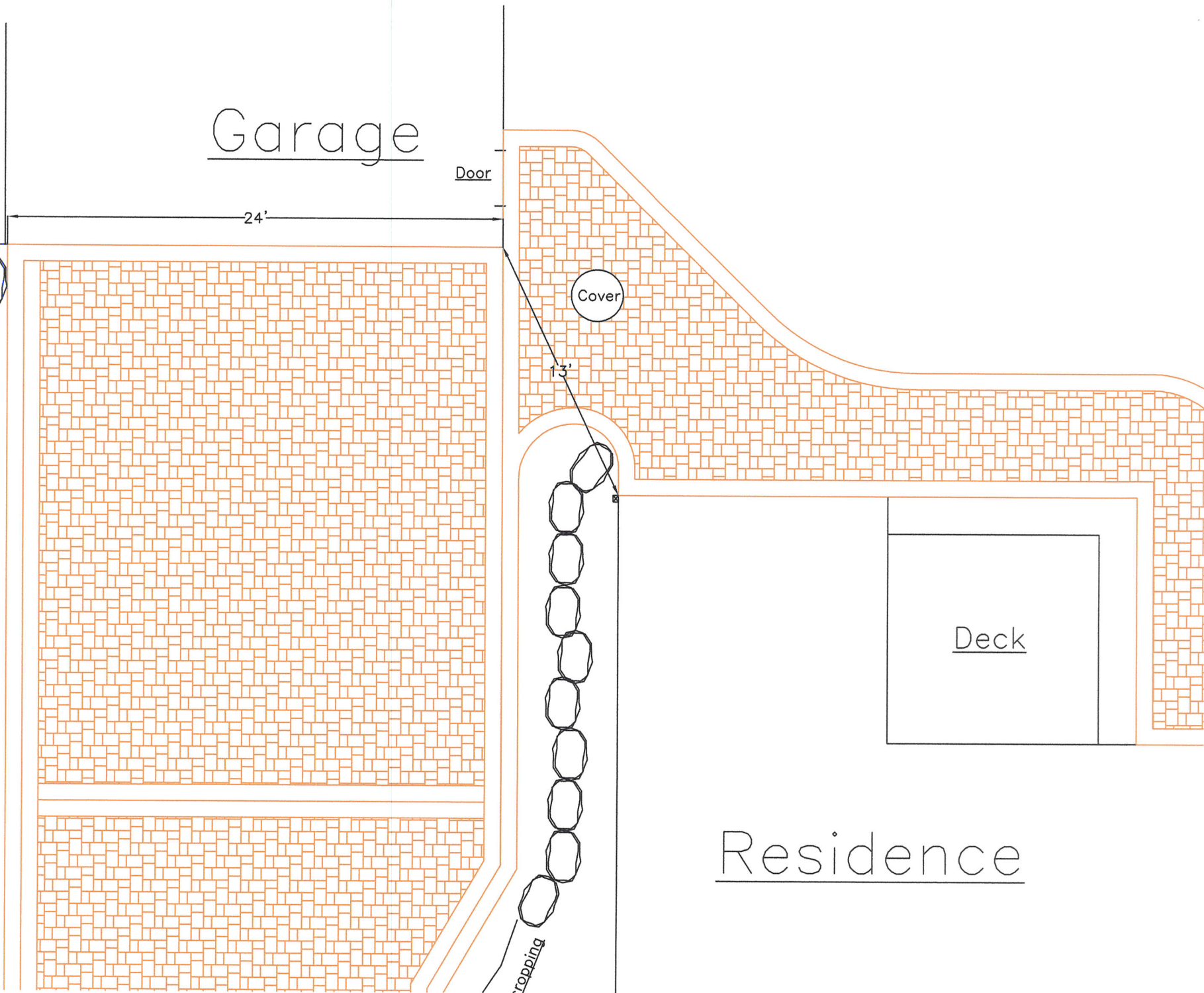
13'

Deck

Residence

pieces of  
p as a step

topping



**The Schafernak Property**

**10536 2<sup>nd</sup> Ave.  
Pleasant Prairie, Wi**

**Pictures dated 7/24/2013 to 10/16/2013**







Driveway with paint markings for paver / asphalt boundaries.



Boundaries for pavers marked by Pleasant Prairie on existing asphalt driveway.

















## PLEASANT PRAIRIE RESIDENTIAL PERMIT/INSPECTION LOG

OWNER: Vandenbergh Raven, Eild  
 MAILING ADDRESS: \_\_\_\_\_  
 CITY/STATE/ZIP: \_\_\_\_\_  
 PHONE NUMBER: ( ) - 697-9411

PROPERTY ADDRESS: 10536 2nd Ave  
 TAX PARCEL #: 93-4-123-292-0070  
 LOT/BLOCK/CSM#: \_\_\_\_\_  
 PERMIT TYPE: Garage & driveway

PERMIT NUMBER	ISSUE DATE	CONTRACTOR NAME/ADDRESS	CONTRACTOR PHONE
BLDG: <u>02-05-0011</u>	<u>5-1-02</u>	<u>Best Built Garage</u>	( ) - <u>697-9411</u>
S&W :			( ) - -
HVAC:			( ) - -
ELEC:			( ) - -
PLUMB:			( ) - -
OTHER:			( ) - -

### INSPECTION RECORD

	1ST INSPECTION	REINSPECTION	REINSPECTION	REINSPECTION
EROSION CONTROL	P O R F / /	P O R F / /	P O R F / /	P O R F / /
FOOTING	P O R F / /	P O R F / /	P O R F / /	P O R F / /
FOUNDATION/BACKFILL	P O R F / /	P O R F / /	P O R F / /	P O R F / /
SETBACKS	P O R F / /	TOP OF FOUNDATION	P O R F / /	
UNDERGROUND PLUMBING	P O R F / /	P O R F / /	P O R F / /	P O R F / /
FLOOR/GARAGE SLAB	P O R F / /	P O R F / /	P O R F / /	P O R F / /
ELECTRIC SERVICE	P O R F / /	P O R F / /	P O R F / /	P O R F / /
ROUGH CARPENTRY	P O R F / /	P O R F / /	P O R F / /	P O R F / /
ROUGH HVAC	P O R F / /	P O R F / /	P O R F / /	P O R F / /
ROUGH ELECTRIC	P O R F / /	P O R F / /	P O R F / /	P O R F / /
ROUGH PLUMBING	P O R F / /	P O R F / /	P O R F / /	P O R F / /
INSULATION	P O R F / /	P O R F / /	P O R F / /	P O R F / /
STORM SEWER LATERAL	P O R F / /	P O R F / /	P O R F / /	P O R F / /
SANITARY SEWER LATERAL	P O R F / /	P O R F / /	P O R F / /	P O R F / /
WATER LATERAL	P O R F / /	P O R F / /	P O R F / /	P O R F / /
FINAL GRADE SURVEY	P O R F / /	P O R F / /	P O R F / /	P O R F / /
FINAL INSPECTION	P O R F <u>5/23/02 KA</u>	P O R F <u>9/8/02 JS</u>	P O R F / /	P O R F / /
STOP WORK ORDER POSTED	P O R F / /	P O R F / /	P O R F / /	P O R F / /

(INSPECTION NOTES ON BACK PAGE OF INSPECTION LOG)

*Garage Slating Pass 5-3-02 JS*

Village of  
Pleasant Prairie  
9915 39TH AVENUE  
Pleasant Prairie, WI 53158  
(262)-694-9304

PERMIT # 02-05-0011 Wednesday  
RECEIPT # 02-00011 05/01/02  
WEEK # 18 RESIDENTIAL PERMIT 13:04:08

OWNER:  
EILLD C M VANDENBERGH RAVEN  
10536 2ND AVENUE  
PLEASANT PRAIRIE, WI 53158-  
262-697-9411

CONTRACTOR:  
BEST BUILT GARAGE  
P.O. BOX 54  
WATERFORD, WI 53158-  
414-697-9411

JOB LOCATION  
10536 - 2ND AVENUE  
SUBDIVISION NAME :

PARCEL #  
93-4-123-292-0070-0  
< Proposed Structure & Usage >  
garage

Lot :  
Block :  
Class : A  
Zoning District :  
Estimated Value : 9500

Size : 0 Height : 0  
By : 0  
Area : 0 No#/Stories : 0

PERMIT FEES:

PLAN REVIEW-ADDITIONS 50.00 Zoning Acc Stru (-150 sq. ft) 10.00  
Access struct (-150 sq ft) 57.60

*Driveway*

*30.00*

*Garage  
staking  
pass  
5.3.02  
JS*

*Garage Final  
5/23/03 KR*

TOTAL FEES  
**147.60**

FOR ANY WORK STARTED OR COMPLETED WITHOUT A PERMIT, A TRIPLE FEE SHALL BE REQUIRED.

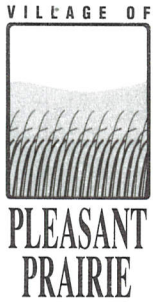
THE UNDERSIGNED HEREBY APPLIES FOR A PERMIT TO DO THE WORK HEREIN DESCRIBED AND AS SHOWN IN THE REQUIRED SITE PLAN FORM OR ATTACHED REGISTERED SURVEY HEREOF, AND HEREBY AGREES THAT ALL WORK WILL BE DONE IN ACCORDANCE WITH ALL THE LAWS OF THE STATE WISCONSIN AND ALL OF THE ORDINANCES OF THE VILLAGE OF PLEASANT PRAIRIE, WISCONSIN APPLICABLE TO THE FOLLOWING DESCRIBED PREMISES AND AGREE TO PERMIT INSPECTION BY THE PLEASANT PRAIRIE INSPECTORS AT ANY REASONABLE TIME:

OWNER/CONTRACTOR: *Phil Clark*

DATE: \_\_\_\_\_

VILLAGE STAFF: *C. Clark*

DATE: *5-1-02*




CONDITIONS FOR A DETACHED GARAGE  
PROPOSED AT 10536 2<sup>ND</sup> AVENUE  
(TAX PARCEL NUMBER 93-4-123-292-0070-0)  
IN THE VILLAGE OF PLEASANT PRAIRIE  
PERMIT #: 02-05-08-0011


The Zoning Administrator has authorized the issuance of a permit for the proposed **24' x 24' (576 square foot) detached garage** construction project subject to the following conditions:

1. The detached garage shall be located a minimum of 10 feet from the existing principal structure on the property, which is the single-family dwelling (*12' proposed*).
2. The detached garage/storage building shall be setback a minimum of 5 feet from side and rear property lines (*5' side yard and 65' rear yard setbacks are proposed*).
3. The total area of the detached garage shall not exceed the first floor square footage of the existing single-family dwelling (which excludes decks and attached garages). (*The proposed detached garage is 576 square feet and according to Village records, the existing single-family ranch dwelling is 1,398 square feet - thus, the detached garage is in compliance.*)
4. The detached garage shall be located a minimum of five (5) feet from any/all other detached accessory structures located on the property.
5. If this new, detached garage is going to replace an existing detached garage, a razing permit must first be applied for and obtained from the Village for the demolition of the existing garage.
6. The detached garage shall be located in the rear or side yard (*The new detached garage is proposed to be in the rear yard*).
7. **The detached garage shall not exceed 15 feet in height and shall not exceed the height of the existing single-family dwelling.** As information, the height of the existing single-family structure is measured from the mean elevation of the finished lot grade at the front of the existing single-family dwelling to the highest point in the roof of the existing single-family dwelling
8. The detached garage shall **not** block, redirect or cause a drainage problem for the adjacent or downstream properties.
9. This R-5 (LUSA) zoned property is allowed a maximum of three (3) detached accessory structures.
10. The detached garage shall not be used for human habitation or animal shelter.

11. The detached garage shall **not** be located within any easements that may be located on the property.
12. The property owner is responsible for compliance with any deed restrictions and covenants recorded on the property.
13. **This permit does not include a required electrical permit. Prior to any electrical work is done a Village Licensed Electrical Contractor shall obtain proper permits.**
14. **This permit does not include a permit for a new driveway or the installation of a culvert. If a new driveway (or driveway extension) is proposed then proper permits will be required.**
15. A staking inspection is required prior to commencing construction on the detached garage. Please call the Village to schedule the required inspection at least 24 hours in advance at (262) 694-9304.
16. A final inspection is required after the detached garage is completed. Please call the Village to schedule the required inspection at least 24 hours in advance at (262) 694-9304.

**I have read understand and agree to the aforementioned conditions of the permit:**

 Niels VanDerBeyl  
Applicant Signature

 4-16-2002  
Date

\* Applicant/Owner shall sign and date attached conditions

4/15/02

RECEIVED  
APR 15 2002  
BY: [Signature]

Village of Pleasant Prairie Permit Application

Property Owner's Name: Niels Vandenberg Telephone: 262-942-1506

Mailing Address: 10536 2<sup>nd</sup> Ave

City: Pleasant Prairie State: WI Zip Code: 53158

Contractor: Best Built Garages Telephone: 800-560-2577  
414-333-6142 mobil

Mailing Address: P.O. Box 54 License #: 1900

City: Waterford State: WI Zip Code: 53185

Job Address: 10536 2<sup>nd</sup> Ave Tax Parcel Number: 93-4-123-292-0070-0

CSM or Subdivision, Lot, Block: LOT 14, Block 30, CBE Unit #3

Proposed Structures and Use: Detached Garage / Personnel Storage Only

Structure: Size 24 ft. by 24 ft. = 576 sq ft Height 12'4" ft.

Fence: Total Linear Feet = \_\_\_\_\_ lin ft Height \_\_\_\_\_ ft

Zoning District: R-5 (LUSA) Estimated Value: \$ 9500.00

FOR ANY WORK STARTED OR COMPLETED WITHOUT A BUILDING/ZONING PERMIT, A TRIPLE FEE WILL BE CHARGED.

The undersigned hereby applies for a permit to do the work herein described and as shown on the attached Plat of Survey, Site Plan and construction plans, and hereby agrees that all of the work will be done in accordance with the codes of the State of Wisconsin and all of the applicable ordinances of the Village of Pleasant Prairie and Kenosha County, Wisconsin. The applicant further agrees to permit the inspection of the premises by the Village's Inspectors at any reasonable time.

Owner/Contractor: [Signature] Date: 4-15-02

Village Staff: [Signature] Date: 4/15/02

\*\*\*\*\* For Office Use Only \*\*\*\*\*

Building _____	Fireplace _____	Erosion Control _____
Garage <u>X 57.60</u>	Fence _____	Razing/Moving _____
Deck _____	Signs _____	Recording Fees _____
Heating _____	Pool/Hot Tub _____	Cert. of Occ. <u>25.00</u>
Air Cond. _____	Plan Review <u>25.00</u>	Zoning <u>25.00</u>
Driveway <u>30.00</u>	Other: _____	

FEE DUE: \$ 117.60

Triple Fee TOTAL FEES DUE \$ \_\_\_\_\_

4/15/02

\* OWNER MUST PROCURE ELECTRICAL PERMIT



For Office Use Only

Planning and Zoning Review

Date Reviewed: 4-15-02

Reviewers Initials: TS

R-5(LUSA) Zoning District  
YES Setback Met  
OK Lot Size  
OK Lot Width (frontage)  
NO Corner Lot  
NO Through Lot  
YES Shoreland 1,000' of LAKE MI  
NO Wetland  
NO 100-year Floodplain  
NO Primary Env. Corridor

X Zoning Approved (w/cond)  
 \_\_\_\_\_ Zoning ON HOLD  
 \_\_\_\_\_ Zoning Denied

1<sup>st</sup> Floor (sq.ft.)  
 Building (sq.ft.)  
 Height (ft.) 12'-4"  
 Driveway width and location  
 Building Site Line  
 Notice of Waivers Prepared?

N/A  
N/A  
OK  
N/A  
N/A  
N/A



Building Inspection Review

Date Reviewed: 4-15-02

Reviewers Initials: JG

X Building  
N/A HVAC  
 \_\_\_\_\_ Electric  
 \_\_\_\_\_ Plumbing  
 \_\_\_\_\_ Top of Foundation  
 \_\_\_\_\_ Driveway Location  
 \_\_\_\_\_ Grading/Drainage Plan  
 \_\_\_\_\_ Public Water Available?  
 \_\_\_\_\_ Sanitary Sewer Available?  
 \_\_\_\_\_ Water Lateral Needed?  
 \_\_\_\_\_ Sewer Lateral Needed?

X Permit Approved  
 \_\_\_\_\_ Permit ON HOLD  
 \_\_\_\_\_ Permit Denied

— Private Well?  
— Private Septic?



Special Assessment Review

Date Reviewed: \_\_\_\_\_

Reviewers Initials: \_\_\_\_\_

Water Connection Due? Y/N Amount: \$ \_\_\_\_\_

Sewer Connection Due? Y/N Amount: \$ \_\_\_\_\_

Other Assessments Due? Y/N Amount: \$ \_\_\_\_\_

(List type of assessments:

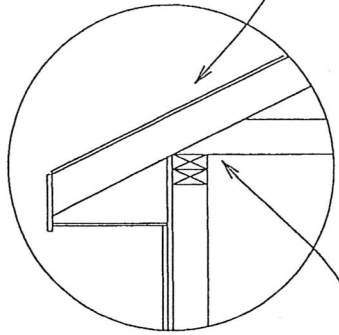
\_\_\_\_\_)

Water/Sewer Over-sizing charge? Y/N Amount: \$ \_\_\_\_\_

Special Agreement Needed? Y/N

VILLAGE OF  
**PLEASANT  
PRAIRIE**

Wall Section Form May 2001



□ TRUSSES  
@ 24" OC

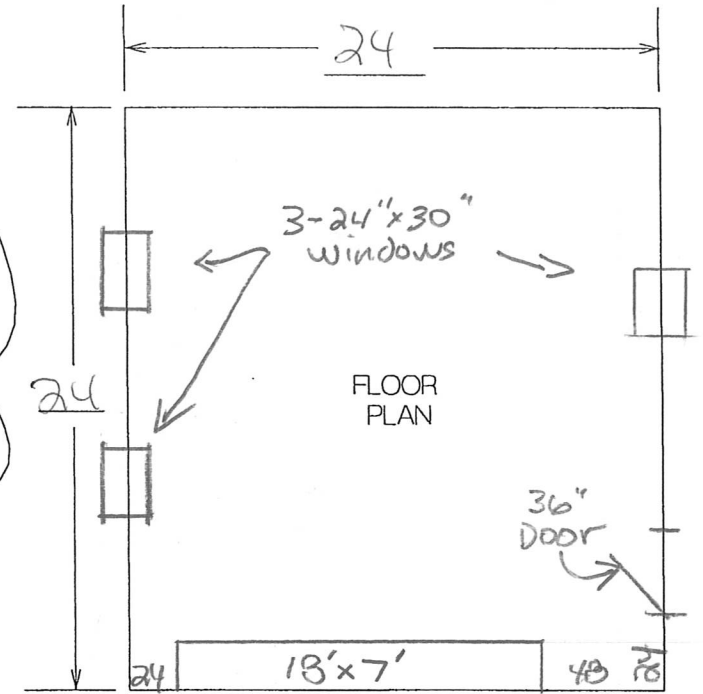
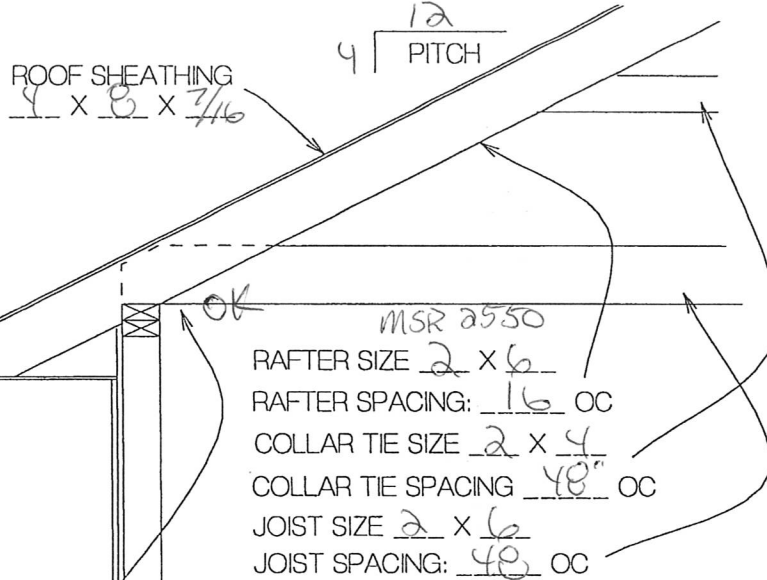
FOR SPANS GREATER THAN 6 FEET  
USE MECHANICAL CLIP  
FASTENERS AT PLATE  
TO RAFTER/TRUSS  
CONNECTION

WALL SHEATHING  
4 X 8 X 7/16 OSB

SIDING:  
Vinyl

GRADE BEAM FOUNDATION  
(entire perimeter)

ANCHOR BOLTS:  
MAXIMUM  
18" FROM CORNERS  
AND 6 FT APART



- INDICATE THE FOLLOWING ON FLOOR PLAN ABOVE
- 1) dimension (L X W)
  - 2) location and size of windows and doors
  - 3) joist, truss, and/or rafter direction
  - 4) length and size of all headers
    - a) at service door
    - b) at overhead door
    - c) at windows

HEIGHT OF BUILDING FROM  
GRADE TO PEAK 12' 4"

MIN 4" CONCRETE REINFORCED W/  
6 X 6 X #10 WOVEN WIRE MESH OVER  
MIN 4" COMPACTED GRANULAR FILL

**ACCESSORY STRUCTURE WALL SECTION**



JOB: F1 BEST BUILT GARAGES DW

THIS DWG. PREPARED FROM COMPUTER INPUT (LOADS & DIMENSIONS) SUBMITTED BY TRUSS MFR.

TOP CHORD 4x2 MSR-SPF 1650F-1.5C  
 BOT CHORD 4x2 MSR-SPF 1650F-1.5C  
 WEBS 4x2 SPF #3

NOTE: REFER TO DRAWING 574,040 FOR STANDARD DETAILS.

UPLIFT CONNECTION REQUIRED: 150# EACH SUPPORT  
 WISCONSIN PLATE APPROVAL #900031-N

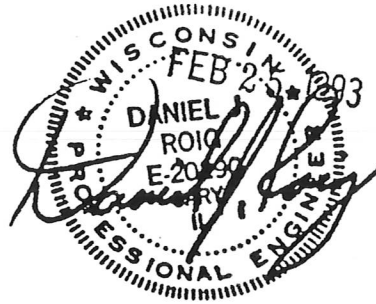
MAX JT VERT DEFL: LL: 0.27" DL: 0.07" (SEE DRWG 579,000)  
 RECOMMENDED CAMBER 1/4"

NOTE: PROVIDE FOR ADEQUATE ROOF DRAINAGE.

WARNING! THE USE OF THIS DESIGN MUST BE LIMITED TO ROOF SYSTEMS WHERE ADEQUATE WATER DRAINAGE PROVISIONS HAVE BEEN MADE TO AVOID PONDING.

THIS DESIGN IS NOT TO BE USED WHERE ALL SIDES OF A BUILDING HAVE PARAPET WALLS, OR CONDITIONS THAT ACCUMULATE SNOW BY DRIFTING OR SLIDE OFF FROM ADJACENT HIGHER ROOFS OR RESTRICT FREE RUNOFF OF WATER.

ILUSR307 93011001

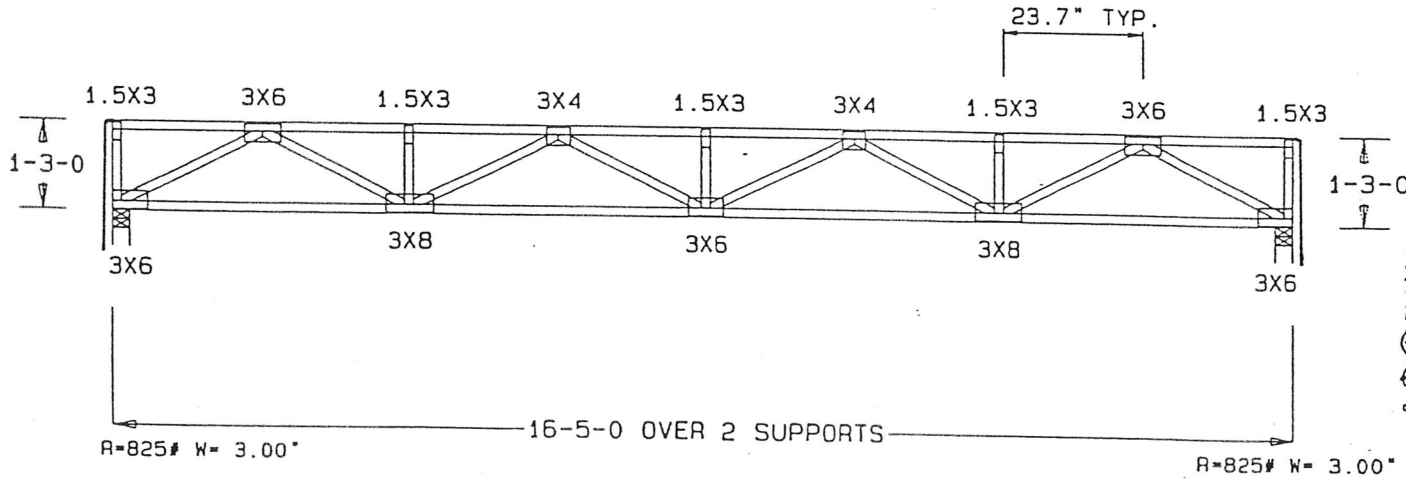


I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT PERSONAL SUPERVISION AND THAT I AM A DULY REGISTERED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF ILLINOIS AND THAT I AM COMPETENT TO PREPARE THIS DOCUMENT.

SIGNED: *[Signature]*  
 REG. NO. 11111

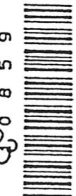


Date: FEB 25 1993  
 License expires 11/30/94



I hereby certify that this drawing was prepared by me or under my direct supervision and that I am a duly registered Professional Engineer under the laws of the State of Illinois.

SIGNED: *[Signature]*  
 Date: *[Signature]*

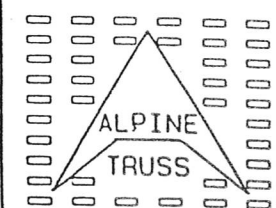


PLT. TYP.-ALPINE

SEQN-- 45616

REV 15.6.5

SCALE = 0.3750



**\*\*IMPORTANT\*\*** ALPINE ENGINEERED PRODUCTS, INC. SHALL NOT BE RESPONSIBLE FOR ANY DEVIATION FROM THIS DESIGN OR THESE SPECIFICATIONS, OR ANY FAILURE TO BUILD THE TRUSS IN CONFORMANCE WITH OS18B BY TPI. ALPINE CONNECTORS ARE MADE OF 20GA GALV. STEEL MEETING ASTM A445 OR A EXCEPT AS NOTED. APPLY CONNECTORS TO EACH FACE OF TRUSS AND UNLESS OTHERWISE LOCATED ON THIS DESIGN, POSITION CONNECTORS PER DRAWINGS 130, 150 & 160A-F. DESIGN STANDARDS CONFORM W/APPLICABLE PROVISIONS OF NOS C TPI. AN ENGINEER'S SEAL ON THIS DRAWING APPLIES TO THE COMPONENT DEPICTED HERE IN ONLY, AND SHALL NOT BE RELIED UPON IN ANY OTHER WAY.

---TPI = TRUSS PLATE INSTITUTE. NOS = 1991 NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION

**WARNING** TRUSSES REQUIRE EXTREME CARE IN HANDLING, ERECTION AND BRACING. SEE HIB-91 BY TPI. SEE THIS DESIGN FOR ADDITIONAL SPECIAL PERMANENT BRACING REQUIREMENTS. UNLESS OTHERWISE INDICATED, TOP CHORD SHALL BE LATERALLY BRACED WITH PROPERLY ATTACHED PLYWOOD SHEATHING. BOTTOM CHORD WITH PROPERLY ATTACHED RIGID CEILING -- SEE ALPINE TECHNICAL UPDATE (7/1/91) FOR PROPER BRAYWALL APPLICATION. FURNISH A COPY OF THIS DESIGN TO THE TRUSS ERECTION CONTRACTOR.

WI

DESIGN CRIT:TPI-PCT	REF R307--10859
TC LL 80.0 PSF	DATE 01/11/93
TC DL 20.0 PSF	DRWG ILUSR307 93011001
BC DL 2.0 PSF	IL-ENG MAIL
TOT.LO. 102.0 PSF	O/A LEN. 16'-5'-0"
OUR.FAC. 1.15	DEPTH 15.0"
SPACING 12.0"	TYPE SY42--

BEST-BUILT GARAGE BUILDINGS

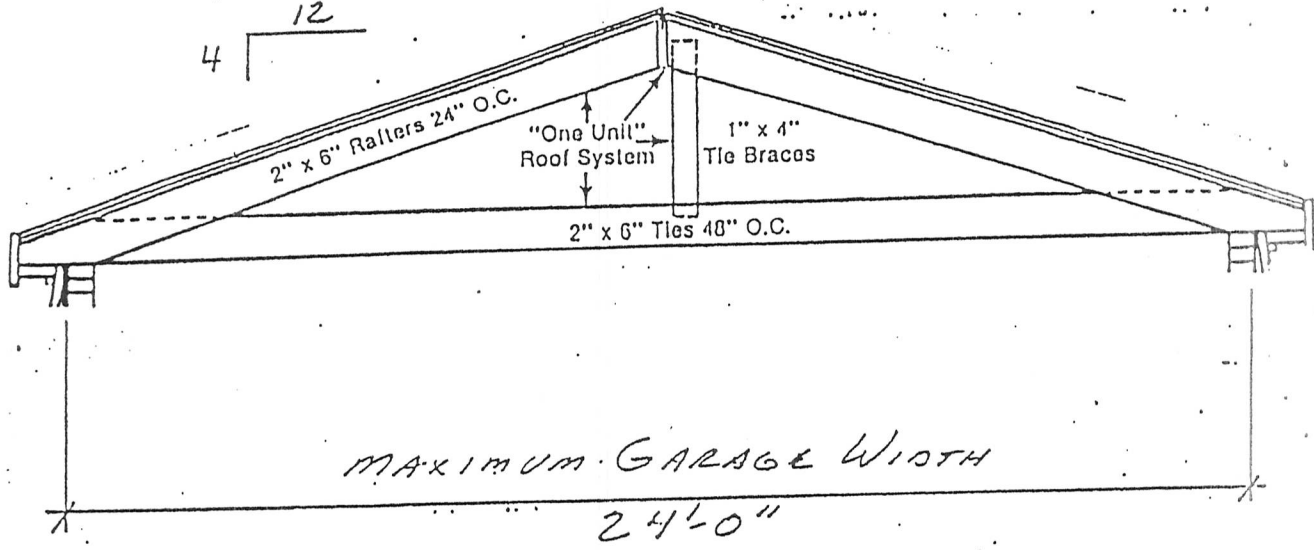
# RAFTER DESIGN

RAFTER MATERIAL SPECIFICATIONS

2100 MSR,  $f_b$  (RELATIVE) = 2400 PSI

MSR - MACHINE STRESS RATIO (SPECIES IS NOT IMPORTANT)

(3/12 SLOPE)



MAXIMUM GARAGE WIDTH

24'-0"

T & C SERVICES  
6904 UNIVERSITY AVE.  
MIDDLETON, WI 53562

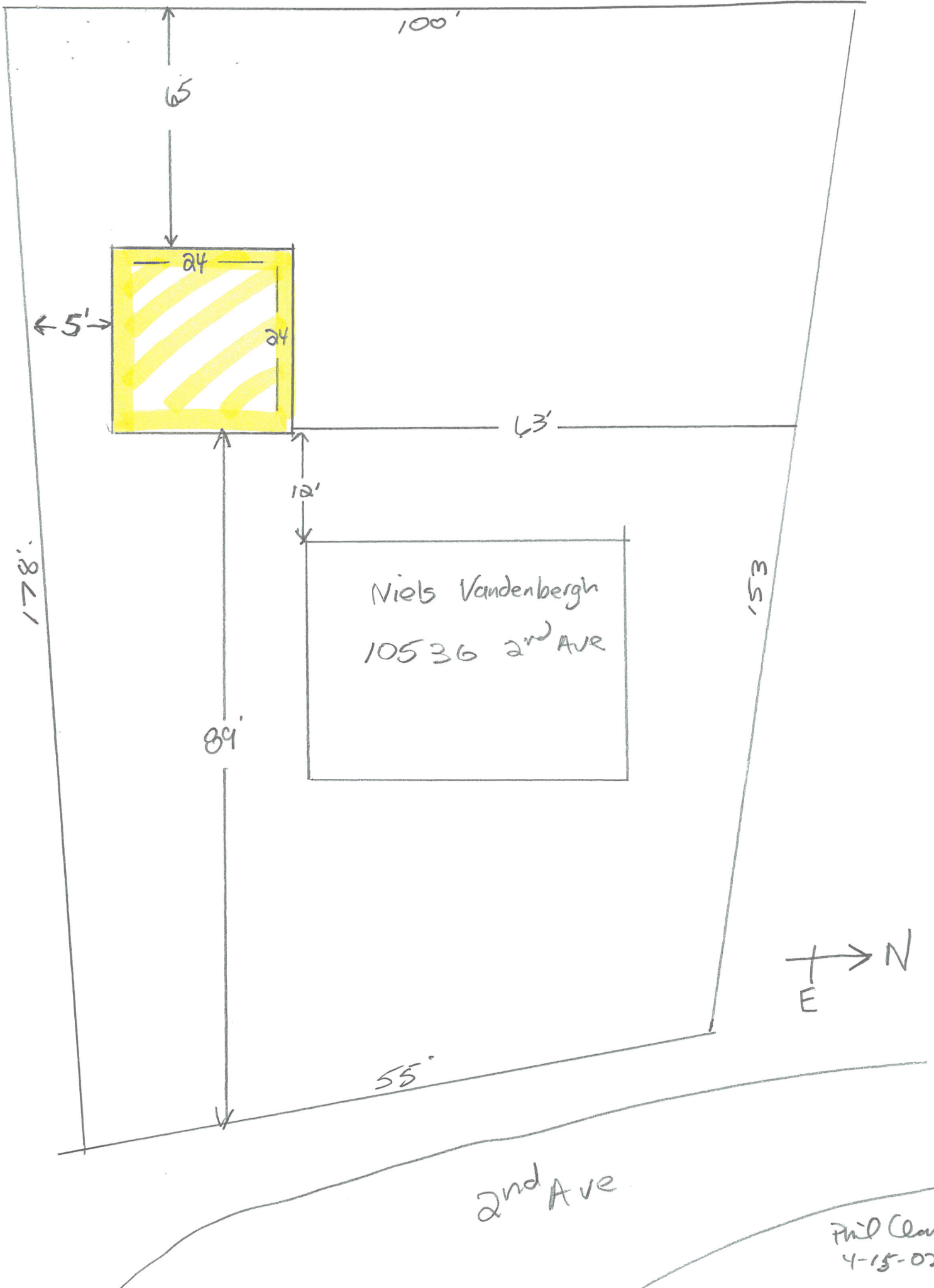
THIS WILL CERTIFY  
THE DESIGN WILL  
MEET THE DESIGN  
LOADS & SPECIFICATIONS

2x6,  $S = 2.6$   
CLR. SPAN = 11.7'

$$M = \frac{wL^2}{8} = \frac{44.3 \times 2(11.7)^2}{8} = 1516 \text{ ft-lb}$$

$$f_b = \frac{M}{S} = \frac{1516 \times 12}{2.6} = 2394 < 2400 \therefore \text{O.K.}$$



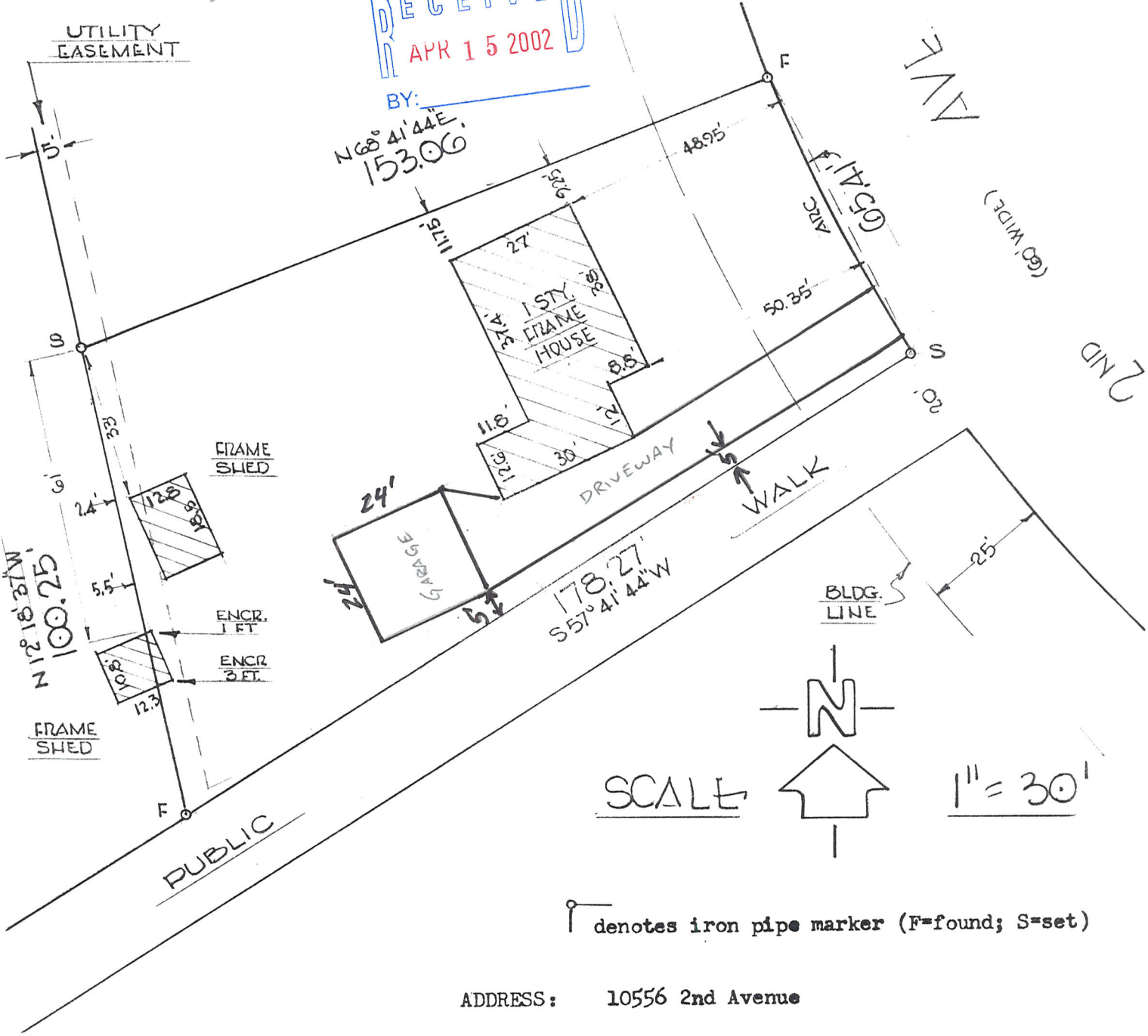


Phil Clarke  
4-15-02

RECEIVED  
APR 15 2002

BY:

N 68° 41' 44" E,  
153.06'



denotes iron pipe marker (F=found; S=set)

ADDRESS: 10556 2nd Avenue

SELLER: Evelyn Kossef

BUYER: Rolland J. M. VanDenbergh

LEGAL DESCRIPTION (AS FURNISHED).....

Lot 14 in Block 30 of Carol Beach Estate Unit No. 3 of Section 29 and 30 being a subdivision of part of the Northwest fractional quarter of Section 29 and the East Half of Section 30, Town 1 North, Range 23 East of the Fourth Principal Meridian, lying and being in the Town of Pleasant Prairie, County of Kenosha, State of Wisconsin.

COUNTY SURVEYOR'S OFFICE, COURTHOUSE, KENOSHA, WI 53140

I hereby certify that the above described property was surveyed under my direction and that this plat is a true representation thereof and shows the size and location of the property, its exterior boundaries, the location and dimensions of all visible structures thereon, fences, apparent easements and roadways and visible encroachments, if any.

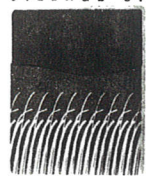
This survey is made for the exclusive use of the present owners of the property, and those who purchase, mortgage or guarantee the title thereto within one (1) year from date hereof.

SURVEYOR.....  
July 23, 1986

Plat of Survey of  
LOT 14, BLOCK 30 IN  
CAROL BEACH ESTATES UNIT #3  
in NW 1/4 Sec. 29-1-23  
TOWN OF PLEASANT PRAIRIE  
KENOSHA COUNTY, WISCONSIN  
for  
Stanich Realty  
and  
Kenosha Savings and Loan  
Association

924-123-292-0070

VILLAGE OF



PLEASANT  
PRAIRIE

Office of the Village Planner  
and Zoning Administrator  
Jean M. Werbie

March 13, 1991

Mr. Roland Van Den Bergh  
10536 2nd Avenue  
Kenosha, Wisconsin 53140

Dear Mr. Van Den Bergh:

The purpose of this letter is to acknowledge the receipt of, and to respond to, your February 25, 1991 letter to Mr. Michael Pollocoff, Village Administrator of the Village of Pleasant Prairie, wherein you requested that the Village vacate a 20 foot-wide public walkway located south of your property at 10536 2nd Avenue in the Village.

The Pleasant Prairie Village Board, at its March 4, 1991 meeting denied your request for the Village to vacate the public walkway located to the south of your property. As indicated by the Village Board, the referenced walkway is located in an area of the Village where a significant amount of land use planning and environmental resource planning has been completed. In 1987, this community along with a number of other state and federal agencies adopted the Southeastern Wisconsin Regional Planning Commission Community Assistance planning report entitled, A Land Use Management Plan for the Chiwaukee Prairie-Carol Beach Area of the Town of Pleasant Prairie. This planning report, along with the adopted Zoning Ordinance and Map, seeks to preserve sensitive areas within the natural environment including wetlands, prairie lands and environmental corridors. The land use plan further proposes that certain lands in this area be acquired and maintained in the public's interest as natural and wildlife areas through a combination of efforts by both State and private conservancy agencies without the threat of future urban encroachment.

The Village Board has reaffirmed its position with respect to implementing the Land Use Management Plan and its commitment to prohibiting urban encroachment into the environmentally sensitive lands of the Chiwaukee Prairie.

As identified in the Land Use Management Plan, many of the walkways and roads are recommended to be abandoned and either controlled as pedestrian walkways or restored back to the

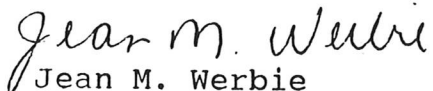
Mr. Van Den Bergh  
March 13, 1991  
Page 2

natural conditions. The walkway located south of your property is recommended to remain as an unimproved public walkway. The walkway, along with four lots to the southeast and other lots to the southwest, are zoned C-3, Natural and Scientific Area Resource Conservancy District. The purpose of this District is to prevent the destruction of valuable natural, scenic and scientific resources. Incompatible developments, including paved walkways, which may deplete or destroy invaluable or irreplaceable natural resources or may otherwise be detrimental to the public welfare are not permitted.

For your future reference, the Village does not have the authority or power to vacate or condemn one privately-owned lot (93-4-123-293-0075-0) in a platted subdivision unless the land was being acquired for a public roadway or some other specific public purpose. In fact, tax parcel number 93-4-123-292-0075-0 was acquired by the Wisconsin Department of Natural Resources for open space preservation purposes. This lot, along with many other lots in the area are currently zoned C-3, Natural and Scientific Area Resource Conservancy District and cannot be developed for urban purposes.

I hope this letter was responsive to your comments concerning your request. Should you have any questions regarding this information, please do not hesitate to contact the Village Hall at (414) 694-1400.

Sincerely,

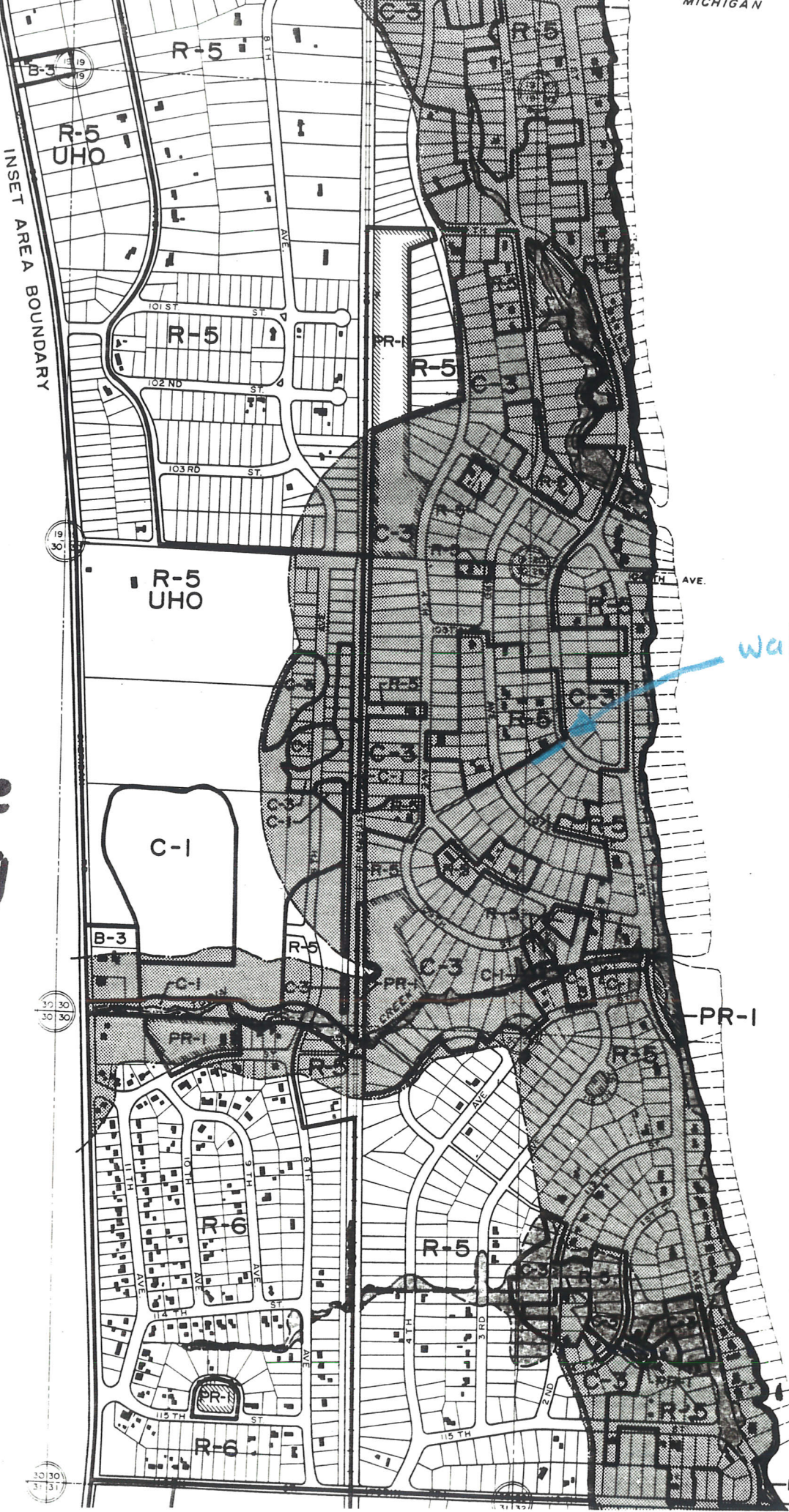


Jean M. Werbie  
Village Planner,  
Zoning Administrator, and  
Director of Community Development

JMW/jr  
Enclosures

cc.: Mr. Thomas Terwall  
Mr. Michael Pollocoff  
Mr. Michael Foran

- I-1 INST
- PR-1 PARK
- C-1 LOWL
- C-2 UPLA
- C-3 NATU  
CONS
- FLOOD  
AND S
- ADDIT
- HO HISTO
- AEO ADULT
- UHO URBAN
- ZONIN



# Village Zoning Map

walkway

ADOPTED BY THE BOARD OF SUPERVISORS  
BY ORDINANCE

ADOPTION ATTORNEY  
*James L. Fonk*  
JAMES L. FONK-CHAIRMAN  
KENOSHA COUNTY BOARD OF SUPERVISORS

*Nancy Principe*  
NANCY PRINCIPLE  
COUNTY CLERK

WM: Date emailed to PW: / /

REVIEWED BY: PH / RN

PLEASANT PRAIRIE RESIDENTIAL PERMIT/INSPECTION LOG

OWNER: Schafernack, Charmaine

PROPERTY ADDRESS: 10536-2<sup>nd</sup> Ave

MAILING ADDRESS: PO box 6387

TAX PARCEL #: 93-4-123-292-0070

CITY/ST/ZIP: Libertyville, IL 60048

Lot: 14 Subdivision: Carol Beaches Estates Unit 3

PHONE NUMBER: 262-770-6737

PERMIT TYPE: Alteration

A/P #	DATE	CONTRACTOR	PHONE
BLDG: 11-06-084	06/27/11	Owner	262.942.8299
ELEC: 11-02-045	"	Elite Electrical Co	262.770.7710
HVAC:	"		
PLUMB:			
S/W/S:			
OTHER:			

INSPECTION RECORD

	1ST INSPECTION	REINSPECTION	REINSPECTION	REINSPECTION
FOOTING	P or F <sup>PASS</sup> 7/18/11 <sup>EN</sup>	P or F / /	P or F / /	P or F / /
SETBACKS	P or F <sup>STAKING</sup> 7/18/11 <sup>EN</sup>	TOP OF FOUNDATION	P or F / /	
FOUNDATION/ BACKFILL	P or F / /	P or F / /	P or F / /	P or F / /
UNDERGROUND PLUMBING	P or F / /	P or F / /	P or F / /	P or F / /
FLOOR/GARAGE SLAB	P or F / /	P or F / /	P or F / /	P or F / /
ELECTRIC SERVICE	P or F / /	P or F / /	P or F / /	P or F / /
ROUGH CARPENTRY	P or F 10/1/11 <sup>EN</sup>	P or F 10/1/11 <sup>EN</sup>	P or F / /	P or F / /
ROUGH HVAC	P or F 11/11/11 <sup>EN</sup>	P or F 11/11/11 <sup>EN</sup>	P or F / /	P or F / /
ROUGH ELECTRIC	P or F / /	P or F / /	P or F / /	P or F / /
ROUGH PLUMBING	P or F / /	P or F / /	P or F / /	P or F / /
INSULATION	P or F 11/9/11 <sup>EN</sup>	P or F / /	P or F / /	P or F / /
PRE-S/W INSPECTION	P or F / /	P or F / /	P or F / /	P or F / /
STORM SEWER LATERAL	P or F / /	P or F / /	P or F / /	P or F / /
SANITARY SEWER LATERAL	P or F / /	P or F / /	P or F / /	P or F / /
WATER LATERAL	P or F / /	P or F / /	P or F / /	P or F / /
FINAL GRADE SURVEY	P or F / /	P or F / /	P or F / /	P or F / /
FINAL INSPECTION	P or F / /	P or F / /	P or F / /	P or F / /
VERBAL TO OCCUPY	Date: / /			
STOP WORK ORDER	POSTED / /	PULLED / /		
VIOLATION / EC, ETC	/ /	/ /	/ /	/ /





Village of Pleasant Prairie  
 9915 39th Avenue  
 Pleasant Prairie, WI 53158  
 Building Inspection:  
 (262)694-9304  
 Fax: (262) 925-6786  
 Planning & Zoning:  
 (262)925-6717  
 Fax: (262)925-6787

**Village Of Pleasant Prairie, WI  
 SINGLE FAMILY HOME  
 ALTERATION  
 PERMIT**

**Date Printed:** 6/24/2011

**Permit Number:**  
**11-06-084**

**PARCEL OWNER:**

CHARMAINE SCHAFERNAK REVOCABLE TRUST  
 P.O. BOX 6387  
 LIBERTYVILLE, IL 60048

**Job Location:**

**CONTRACTOR:**

CHARMAINE SCHAFERNAK REVOCABLE TRUST  
 P.O. BOX 6387  
 LIBERTYVILLE, IL 60048

**Parcel Information:**  
 93-4-123-292-0070-0  
 10536 2ND AVE  
 Subdivision: CAROL BEACH ESTATES UNIT 3  
 Block: 30 Lot: 14

*Post holes  
 & staking done - 7-8-11 EN.*

**Estimated Value:** 0.00 **Current Zoning:** LUSA, and R-5

**FEES:**

ALTERATION NO STRUCTURAL CHANGES	69.90	CERTIFICATE OF OCCUPANCY: REMODEL	50.00
DECK/PORCH	96.40	HEATING PIPE EXTENSION	139.80
PLAN REVIEW: ALTERATION	50.00	PROP REC MAINT: NONSTRUCTURAL ALTERATION	80.00
ZONING: ADDITION/REMODEL	40.00	ZONING: DECK/PORCH	40.00
			<b>Total Fees: \$566.10</b>

**PROPOSED STRUCTURE AND USE:**  
 remodel and repace two decks (front deck and rear deck)

- CONDITIONS FOR APPROVAL:**
1. This permit is for the addition to or remodeling of a single family home. Two or more separate and distinct living units are not allowed. If more than one separate and distinct living unit is created it will constitute a zoning violation and the owner(s) will be subject to Village penalties.
  2. The deck/porch(including the steps or stairs) shall not be placed within any easements without written permission from the easement holder. This permit is not written permission to place any structure within any easements that may be located on this property.
  3. The deck/porch(including the steps or stairs) shall not block, redirect or cause a drainage problem for the adjacent or downstream properties or the subject property.
  4. A staking inspection is required prior to the construction of the deck/porch. The property owner is responsible for having all pertinent property line locations and the proposed structure location clearly marked on the property so the Village Inspectors can ensure required setbacks are met during the staking inspection.
  5. Prior to commencing any excavation on the property, it is recommended that the property owner contact Diggers Hotline to have all underground utilities located.

6. Special Zoning Conditions

- 1) The deck/porch, including the steps or stairs, shall be setback a minimum of 30 feet from the property line adjacent to the street (setback is measured from the foundation of the deck/porch or stairs).
- 2) The decks/porches, including the steps or stairs, shall be setback a minimum of 3 feet from the side property lines and a minimum of 15 feet from the rear property line (setback is measured from the foundation of the deck/porch or stairs) and shall not be located within any easements on the property.

7. Special Building Conditions

No Special Building Conditions

8. This permit is valid for 12 months after the acceptance date . Prior to the expiration of the permit all inspections shall be completed. If the work is not completed before the permit expires, the permit may be renewed prior to its expiration date.

9. The property owner is responsible for compliance with any recorded deed restrictions and restrictive covenants recorded on this property, including any approval by the Subdivision Architectural Control Committee, if applicable.

10. This permit does not include any Electrical Permits, Interior Plumbing Permits or Exterior Plumbing Permits that may be required.

11. **The permit applicant is charged with the knowledge of the Village Municipal Code, in particular, the Village Zoning Ordinance and Village Building Code. Copies of said ordinances or portions thereof and copies of the Official Zoning Maps are available for sale, copying or inspection upon request. Any statement made, assurance given or permit erroneously issued contrary to the Village Municipal Code is null and void.**

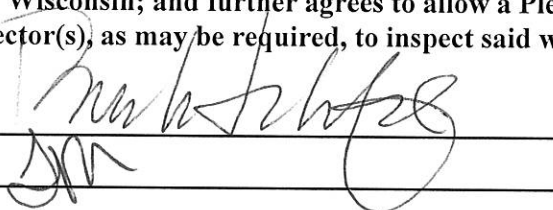
12. This area of alteration shall not be occupied until verbal occupancy is granted by the Village Building Inspector.

13. It is the responsibility of the applicant/owner/contractor to follow up on inspection results and correct any violations. For any inspection that your presence is not required and no inspection report has been left at the construction site, you must call the Building Inspection Department at 262-694-9304 to verify whether the inspection has passed or failed.

14. **All required inspections shall be scheduled with the Village at (262) 694-9304 at least 2 business days in advance. If the same inspection fails two times, prior to scheduling the third inspection, a re-inspection fee shall be paid to the Village.**

15. **The undersigned hereby understands and accepts the conditions of this permit and hereby agrees that all work will be done in accordance with all the laws of the State of Wisconsin and all the ordinances of the Village of Pleasant Prairie, Wisconsin; and further agrees to allow a Pleasant Prairie Building Inspection, Zoning and/or Utility Inspector(s), as may be required, to inspect said work at any reasonable time.**

OWNER/CONTRACTOR:

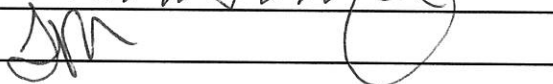


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DATE:

6-27-11

VILLAGE STAFF:



---

DATE:

6-27-11



Village of Pleasant Prairie  
 9915 39th Avenue  
 Pleasant Prairie, WI 53158  
 Building Inspection:  
 (262)694-9304  
 Fax: (262) 925-6786  
 Planning & Zoning:  
 (262)925-6717  
 Fax: (262)925-6787

**Village Of Pleasant Prairie, WI  
 SINGLE FAMILY HOME  
 ELECTRIC  
 PERMIT**

**Date Printed:** 6/24/2011

**Permit Number:**  
**11-06-129**

Parent Permit: 11-06-084

**PARCEL OWNER:**

CHARMAINE SCHAFERNAK REVOCABLE TRUST  
 P.O. BOX 6387  
 LIBERTYVILLE, IL 60048

**Job Location:**

**CONTRACTOR:**

(262)770-6737 x

ELITE ELECTRICAL CO, LLC  
 2920 WILLOW RD  
 STURTEVANT, WI 53177

**Parcel Information:**  
 93-4-123-292-0070-0  
 10536 2ND AVE  
 Subdivision: CAROL BEACH ESTATES UNIT 3  
 Block: 30 Lot: 14

**Estimated Value:** 0.00

**Current Zoning:** LUSA, and R-5

**FEES:**

ELECTRIC EXTENSION/REWIRING 100.00

**Total Fees: \$100.00**

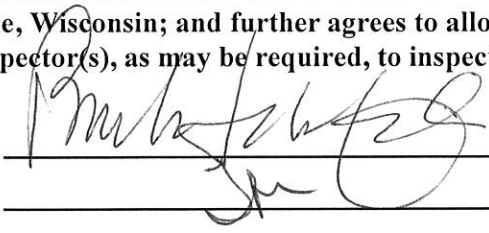
**CONDITIONS FOR APPROVAL:**

1. This Permit is subject to all the conditions of its parent permit. The Parent Permit's number is: 11-06-084
2. Special Zoning Conditions  
     No Special Zoning Conditions
3. Special Building Conditions  
     No Special Building Conditions
4. This permit is valid through the end of its parent permits expiration date which is . Prior to the expiration of the permit all inspections shall be completed. If the work is not completed before the permit expires, the permit may be renewed prior to its expiration date.
5. Prior to performing any electrical work, a Village Licensed Electrical Contractor shall obtain proper permits and shall be in compliance of the National Electrical Code.
6. **The permit applicant is charged with the knowledge of the Village Municipal Code, in particular, the Village Zoning Ordinance and Village Building Code. Copies of said ordinances or portions thereof and copies of the Official Zoning Maps are available for sale, copying or inspection upon request. Any statement made, assurance given or permit erroneously issued contrary to the Village Municipal Code is null and void.**
7. It is the responsibility of the applicant/owner/contractor to follow up on inspection results and correct any violations. For any inspection that your presence is not required and no inspection report has been left at the construction site, you must call the Building Inspection Department at 262-694-9304 to verify whether the inspection has passed or failed.

**Application Number: 11-06-129**

- 8. All required inspections shall be scheduled with the Village at (262) 694-9304 at least 2 business days in advance. If the same inspection fails two times, prior to scheduling the third inspection, a re-inspection fee shall be paid to the Village.
- 9. The undersigned hereby understands and accepts the conditions of this permit and hereby agrees that all work will be done in accordance with all the laws of the State of Wisconsin and all the ordinances of the Village of Pleasant Prairie, Wisconsin; and further agrees to allow a Pleasant Prairie Building Inspection, Zoning and/or Utility Inspector(s), as may be required, to inspect said work at any reasonable time.

OWNER/CONTRACTOR:



DATE:

6-27-11

VILLAGE STAFF:

\_\_\_\_\_

DATE:

6-27-11

Owner's Name: Charmae Schafernek Rev. Trust

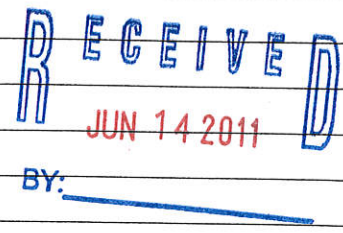
Project: Remodel Home w/2 Decks

Tax Parcel Number: 93-4-123-292-0070

LOT/BL/CSM or SUB: \_\_\_\_\_

Site Address: 10536 - 2nd Ave

Date Received: \_\_\_\_\_

Planning & Zoning Review:		Date Reviewed	NOTES:
Zoning District	<u>R-5(UOA)</u>	<u>8/11/11</u>	<div style="text-align: center;">  </div>
Setback Met		Reviewer's Initials <u>DH</u>	
Lot Size		Zoning APPROVED <u>X</u>	
Lot Width (frontage)		Zoning ON HOLD	
Corner Lot		Zoning DENIED	
Through Lot		1 <sup>st</sup> Floor (Sq Ft)	
Shoreland		Building (Sq Ft)	
Wetland		Height (Ft)	
100 Year Floodplain		Driveway width & location	
Primary Env. Corridor		Building Site Line	
Building Inspection Review		Date Reviewed <u>6-24-11</u>	NOTES:
Building	<u>✓</u>	Reviewer's Initials <u>KA</u>	Signatures needed on:
HVAC	<u>✓</u>	Permit APPROVED <u>✓</u>	All Permit (s)
Electric	<u>✓</u>	Permit ON HOLD	
Plumbing		Permit DENIED	State Permit (for New Homes)
Top of Foundation			Cond'l Approval Plan (Village Copy)
Driveway Location		Public Water Available? <u>Y/N</u>	Plat of Survey (Owner & Contractor)
Grading/Drainage Plan		Sanitary Sewer Available? <u>Y/N</u>	Other:
Private Well?	<u>Y/N</u>	Water Lateral Needed? <u>Y/N</u>	
Private Septic?	<u>Y/N</u>	Sewer Lateral Needed? <u>Y/N</u>	
SW Lat Map Attached?	<u>Y/N</u>	Notice of Waivers Prepared? <u>Y/N</u>	
Assessing Department Review		Date Reviewed	NOTES:
<i>New Res 1-3 units</i>		<i>Non-Structural Alterations</i>	Recycle Bin Required? <u>Y/N</u>
<i>New Condo 4+ units</i>		<i>Accessory Structures</i>	
<i>New Multi-Family 4+</i>		<i>Porch, Deck, Patio, Canopy, Gazebo</i>	<i>Fireplace</i>
<i>New Commercial</i>		<i>HVAC Add/Alt/Upgrade</i>	<i>Exterior Siding</i>
<i>Structural Addition</i>		<i>Electrical Add/Alt/Upgrade</i>	<i>Swimming Pool</i>
<i>Structural Alteration</i>		<i>Plumbing Add/Alt/Upgrade</i>	<i>Building Demolition</i>
Special Assessment Review		Date Reviewed	NOTES
Water Connection Due?	<u>Y/N</u>	Reviewer's Initials	
Sewer Connection Due?	<u>Y/N</u>	Amount Due	
Other Assessments Due?	<u>Y/N</u>	Amount Due	
(List Assessment Type)			
Water/Sewer Oversizing Charge?	<u>Y/N</u>	Amount Due	
Special Agreement Needed?	<u>Y/N</u>		
Taxes Due or Delinquent?	<u>Y/N</u>	Amount Due	
Transportation Improvement Fee (TIF)	<u>Y/N</u>	Amount Due	
Impact Fee	<u>Y/N</u>	Amount Due	



Building Inspection & Zoning
Standard Permit Application
(PLEASE PRINT)

Permit (A/P#) \_\_\_\_\_

Parent A/P# (if applic) \_\_\_\_\_

Job Address: 10536 2ND AVE Tax Parcel No.: 93-4-123-292-0070

Subdivision, CSM, Lot #: LOT # 14 BLOCK 30 CAROL BEACH UNIT #3

Owner's Name: BEUCEM. SCHAFERNAK Phone #: 262-942-8299

Mailing Address: PO BOX 580284

City, State, Zip: PLEASANT PRAIRIE WI 53158



Owner acting as General Contractor (must sign and submit Cautionary Statement Form)

-OR-



General Contractor

Company Name: \_\_\_\_\_ Phone #: \_\_\_\_\_

Mailing Address: \_\_\_\_\_ City, State, Zip: \_\_\_\_\_

\*Contractor's WI Certification # \_\_\_\_\_ \*Dwelling Contractor's Qualifier WI Certification # \_\_\_\_\_
(\*Required for all Residential Additions, Alterations, and attached Accessory Structures)

1) Proposed Project:

- ACCESSORY STRUCTURE: (please circle one)
garage / shed / deck / porch / gazebo / pool / hot tub / spa / pond / fence / driveway / other:
ADDITION
ALTERATION OR REMODEL
OTHER:

2) Project Description: (ex. Sunroom addition, basement finish, new fence, replace driveway, etc)

REPLACE WINDOWS + SIDING + DOORS. REQUIRES NEW HEADERS
REPLACE INSULATION + DRYWALL + INTERIOR DOORS + TRIM
REPLACE KITCHEN CABINETS

3) Estimated Cost of Project: \$ 50,000.00

4) Proposed Dimensions:

(Length x Width) \_\_\_\_\_ ft x \_\_\_\_\_ ft = 1398 / 1585 sq ft -OR- Linear Feet \_\_\_\_\_ ft
AND Height \_\_\_\_\_ ft

NOTE: ANY WORK STARTED WITHOUT THE REQUIRED PERMITS OR CONNECTION FEES RESULT IN TRIPLED PERMIT FEE AMOUNTS. The undersigned hereby makes application for this permit to do the work herein described and as shown on the attached Plat of Survey/Site Plan and construction plans, and hereby agrees that all of the work will be done in accordance with all applicable codes and ordinances of the State of Wisconsin, the County of Kenosha and the Village of Pleasant Prairie.

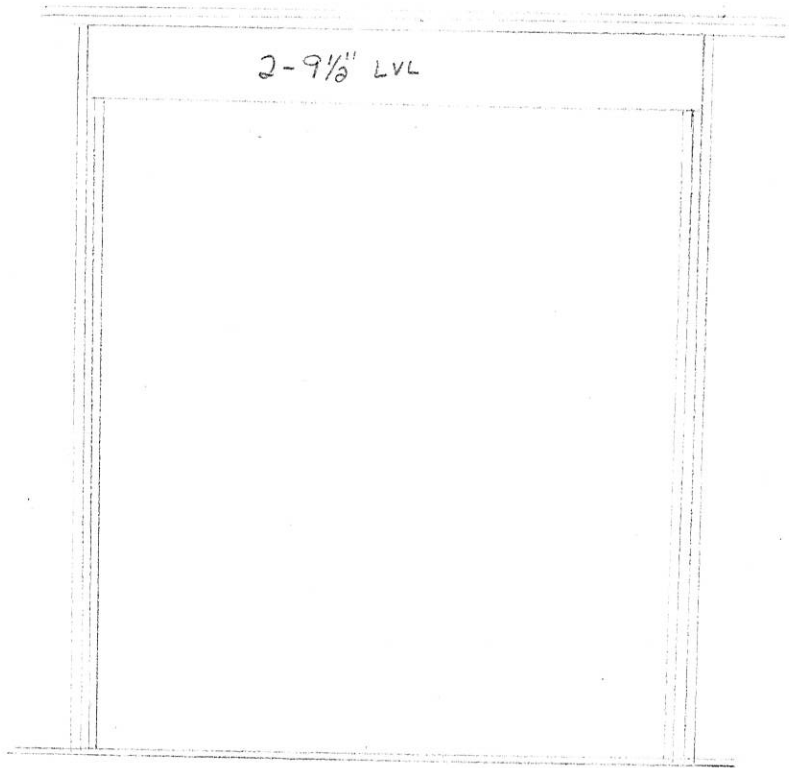
Owner/Contractor Name (PLEASE PRINT): \_\_\_\_\_

Owner/Contractor Signature: \_\_\_\_\_ Date: 6-13-11

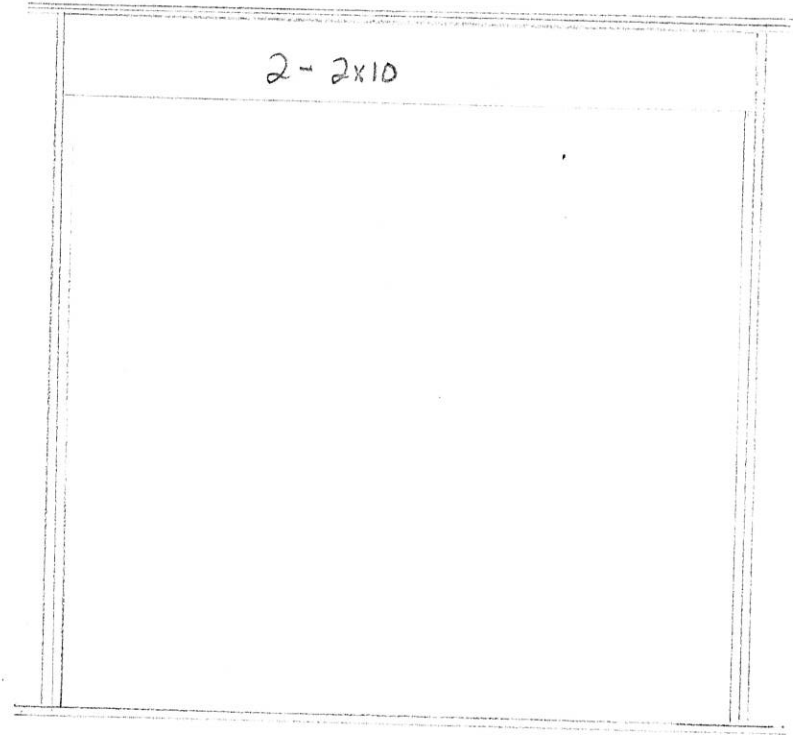
BRUCE SCHAFER  
10536 2ND AVE  
PLEASANT PRAIRIE, WI 53158  
PH: 262 942 8299  
6.13.11

WINDOW HEADER DIAGRAM

HEADER OVER 6' up to 7'



HEADER UNDER 6'





PLEASANT PRAIRIE

Parent A/P # (if applicable) 11 - 06 - 084 Permit A/P # 11 - 06 - 129

**2010 Permit Application For Single Family and Two-Family Residential Electric, Plumbing, HVAC, or Exterior (Utility) Plumbing**  
PLEASE FILL OUT A SEPARATE FORM FOR EACH CONTRACTOR

*Red*  
*6-23-11*  
*KR*

(PLEASE PRINT)

Job Address: 105 36 - 2<sup>nd</sup> Ave Tax Parcel No.: \_\_\_\_\_

Sub, CSM, Lot #: \_\_\_\_\_

Owner's Name: Bruce Schafersak Phone #: (262) 942-8299

Mailing Address: 10536-2nd Ave City, State, Zip: Pleasant Prairie, WI 53158

Electric  Plumbing  HVAC  Utility (Exterior Plumbing) ESTIMATED VALUE: \$ 8000.<sup>00</sup>

WISCONSIN CERTIFICATION # 926916

Company Name: Elite Electrical Co Phone #: 262 770 7710

Mailing Address: 2920 Willow Rd City, State, Zip: Sturtevant, WI 53177

ELECTRIC	INTERIOR PLUMBING	HVAC	EXTERIOR (UTILITY) PLUMBING
<input type="checkbox"/> New Electric Service for a new home _____ amp new home (SFR): \$150.00 each new home (2FR): \$300.00 each  <input type="checkbox"/> Additional Electric sub-panel <input type="checkbox"/> Generator sub-panel: _____ amp \$50.00 per panel  <input type="checkbox"/> Electric Service Update: FROM _____ amp TO _____ amp And/or: FROM: _____ OH _____ UG TO: _____ OH _____ UG \$100.00 per panel  <input checked="" type="checkbox"/> Electric Wiring Extension / Rewiring: <u>1000</u> sq ft being remodeled or added \$.10/sq ft, min. \$50.00  <input type="checkbox"/> Electric for Swimming Pool, Hot Tub, or Pond \$50.00	# Water Closet/Bidets: _____ # Hose Bibbs: _____ # Dishwashers: _____ # Tubs/Shower: _____ # Laundry Trays: _____ # Clothes Washers: _____ # Ejector Pit: _____ # Garbage Disposals: _____ # Sinks: _____ # Floor Drains: _____ # Water Heaters: _____ # Water Softeners: _____ Lawn Sprinkler (AVB): _____ # Other ( ): _____  <input type="checkbox"/> TOTAL FIXTURES: _____ <b>\$5.00 per fixture:</b> new home (SFR): min \$150.00 new home (2FR): min \$300.00 existing home: min \$50.00 (Lawn Sprklr. \$40.00)  <input type="checkbox"/> City of Kenosha Temporary Water Card \$100.10 each, plus above listed Total Fixture fee.	<input type="checkbox"/> New Heating Unit(s) for a new home BTU: _____ new home (SFR): \$150.00 new home (2FR): \$300.00 plus \$25.00 each additional heating unit  <input type="checkbox"/> Additional Heating Unit Added to an Existing Home BTU: _____ \$50.00 per unit  <input type="checkbox"/> Furnace Update/Replace BTU: _____ \$50.00 per unit  <input type="checkbox"/> Heating Pipe Extension: _____ sq ft being remodeled or added \$ .10/sq ft, min. \$50.00  <input type="checkbox"/> Air Conditioning Unit \$50.00 per unit	<input type="checkbox"/> Road Opening/Work in the Right-of-Way \$150.00 <input type="checkbox"/> Water Lateral \$75.00 each <input type="checkbox"/> Sanitary Sewer Lateral \$75.00 each <input type="checkbox"/> Storm Sewer Lateral \$75.00 each  <div style="border: 1px solid black; padding: 5px;">           Special Assessment Connection Fees:             Property Record Maintenance Fee: (applies to HVAC &amp; PLUMB/ Electric not associated with a construction permit)  <input type="checkbox"/> \$15.00             Sump grant #: _____   <b>TOTAL FEES DUE:</b>  <u>100.<sup>00</sup></u> </div>

FEES SUBJECT TO CHANGE - FOR CURRENT FEES, SEE MOST RECENT FEE SCHEDULE

NOTE: Any work started without the required permits or connection fees result in tripled permit fee amounts. The undersigned Wisconsin Certified Contractor makes application for this permit on behalf of the property owner and therefore takes responsibility for all work for which this permit is issued for in accordance with all applicable State of Wisconsin Codes and all Village of Pleasant Prairie Codes.

WI Certified Contractor Name (PLEASE PRINT): Steve Bigelow

WI Certified Contractor Signature: \_\_\_\_\_ Date: 6/21/11





Building Inspection & Zoning
Standard Permit Application
(PLEASE PRINT)

Permit (A/P#) \_\_\_\_\_

Parent A/P# (if applic) \_\_\_\_\_

Job Address: 10536 2N AVE Tax Parcel No.:
Subdivision, CSM, Lot #: LOT #14 BLOCK 30 CAROL BEACH UNIT #3

Owner's Name: BRUCE M SCHAFFERNAK Phone #: 262 942 8299

Mailing Address: PO BOX 580284
City, State, Zip: PLEASANT PRAIRIE WI 53158

Owner acting as General Contractor (must sign and submit Cautionary Statement Form)
--OR--

General Contractor
Company Name: Phone #:
Mailing Address: City, State, Zip:

\*Contractor's WI Certification # \*Dwelling Contractor's Qualifier WI Certification #
(\*Required for all Residential Additions, Alterations, and attached Accessory Structures)

1) Proposed Project:

- ACCESSORY STRUCTURE: (please circle one)
garage / shed / deck / porch / gazebo / pool / hot tub / spa / pond / fence / driveway / other:
ADDITION
ALTERATION OR REMODEL
OTHER:

2) Project Description: (ex. Sunroom addition, basement finish, new fence, replace driveway, etc)

REPLACE CURRENT BACK PORCH - REPLACE BACK PORCH

3) Estimated Cost of Project: \$ 1,000.00

4) Proposed Dimensions:

(Length x Width) ft x ft = 90 sq ft -OR- Linear Feet ft

AND Height ft

NOTE: ANY WORK STARTED WITHOUT THE REQUIRED PERMITS OR CONNECTION FEES RESULT IN TRIPLED PERMIT FEE AMOUNTS. The undersigned hereby makes application for this permit to do the work herein described and as shown on the attached Plat of Survey/Site Plan and construction plans, and hereby agrees that all of the work will be done in accordance with all applicable codes and ordinances of the State of Wisconsin, the County of Kenosha and the Village of Pleasant Prairie.

Owner/Contractor Name (PLEASE PRINT):
Owner/Contractor Signature: Date: 6-13-11



Building Inspection & Zoning
Standard Permit Application
(PLEASE PRINT)

Permit (A/P#)
Parent A/P# (if applic)

Job Address: 10526 2ND AVE
Subdivision, CSM, Lot #: LOT #14 Block 30 CAROL BEACH UNIT #3

Owner's Name: BRUCE M. SCHAFERAK
Phone #: 262-942-8299

Mailing Address: PO Box 580284
City, State, Zip: PLEASANT PRAIRIE, WI 53158

Owner acting as General Contractor (must sign and submit Cautionary Statement Form)
-OR-

General Contractor
Company Name:
Phone #:
Mailing Address:
City, State, Zip:

\*Contractor's WI Certification #
\*Dwelling Contractor's Qualifier WI Certification #
(\*Required for all Residential Additions, Alterations, and attached Accessory Structures)

1) Proposed Project:

- ACCESSORY STRUCTURE: (please circle one)
garage / shed / deck / porch / gazebo / pool / hot tub / spa / pond / fence / driveway / other:
ADDITION
ALTERATION OR REMODEL
OTHER:

2) Project Description: (ex. Sunroom addition, basement finish, new fence, replace driveway, etc)

REPLACE CURRENT DECK - REPLACE FRONT DECK

3) Estimated Cost of Project: \$ 5,000.-

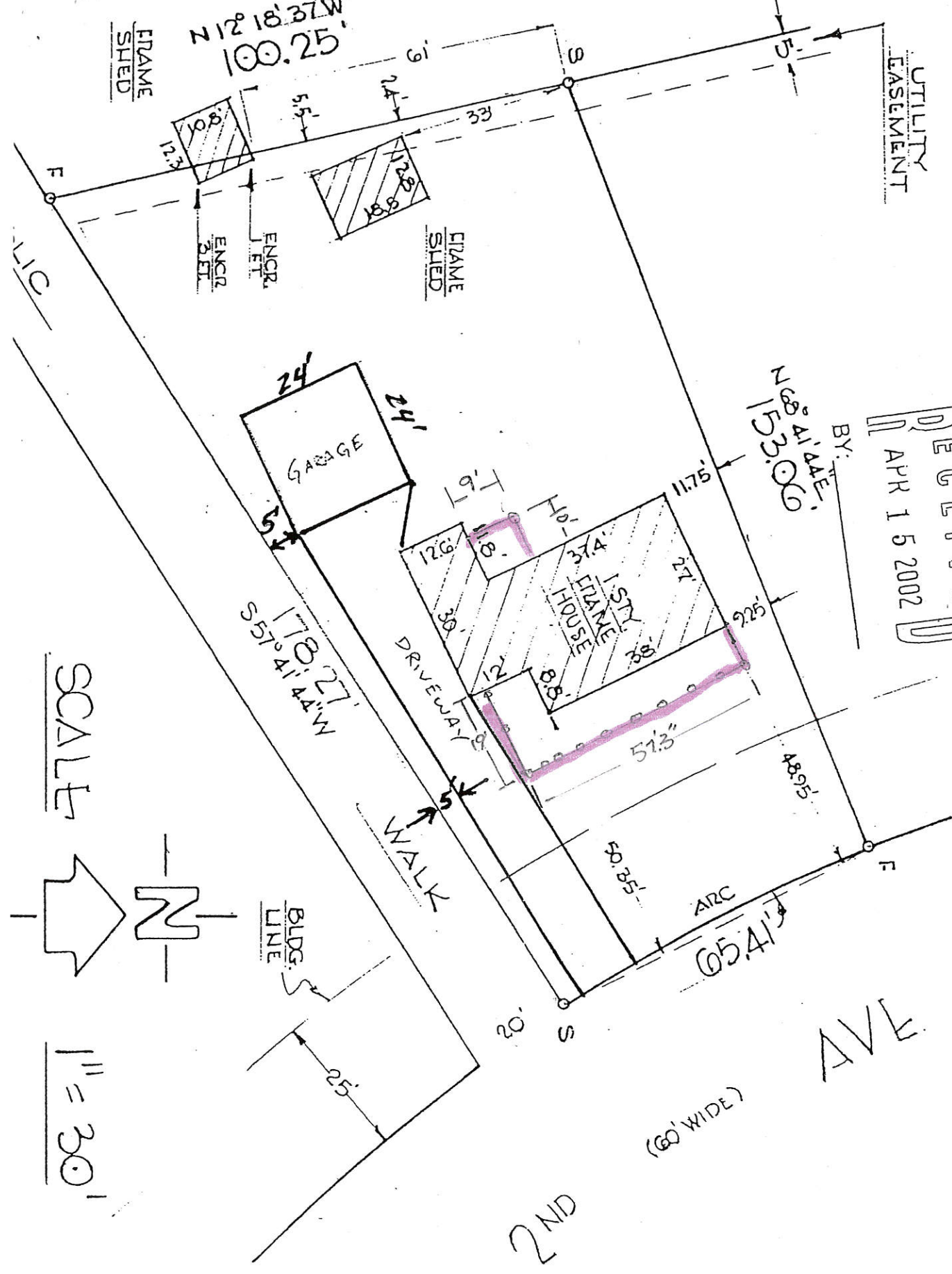
4) Proposed Dimensions:

(Length x Width) ft x ft = 874 sq ft -OR- Linear Feet ft
AND Height ft

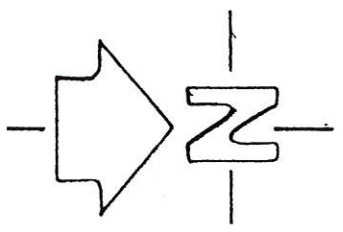
NOTE: ANY WORK STARTED WITHOUT THE REQUIRED PERMITS OR CONNECTION FEES RESULT IN TRIPLED PERMIT FEE AMOUNTS. The undersigned hereby makes application for this permit to do the work herein described and as shown on the attached Plat of Survey/Site Plan and construction plans, and hereby agrees that all of the work will be done in accordance with all applicable codes and ordinances of the State of Wisconsin, the County of Kenosha and the Village of Pleasant Prairie.

Owner/Contractor Name (PLEASE PRINT):

Owner/Contractor Signature:
Date: 6-13-11



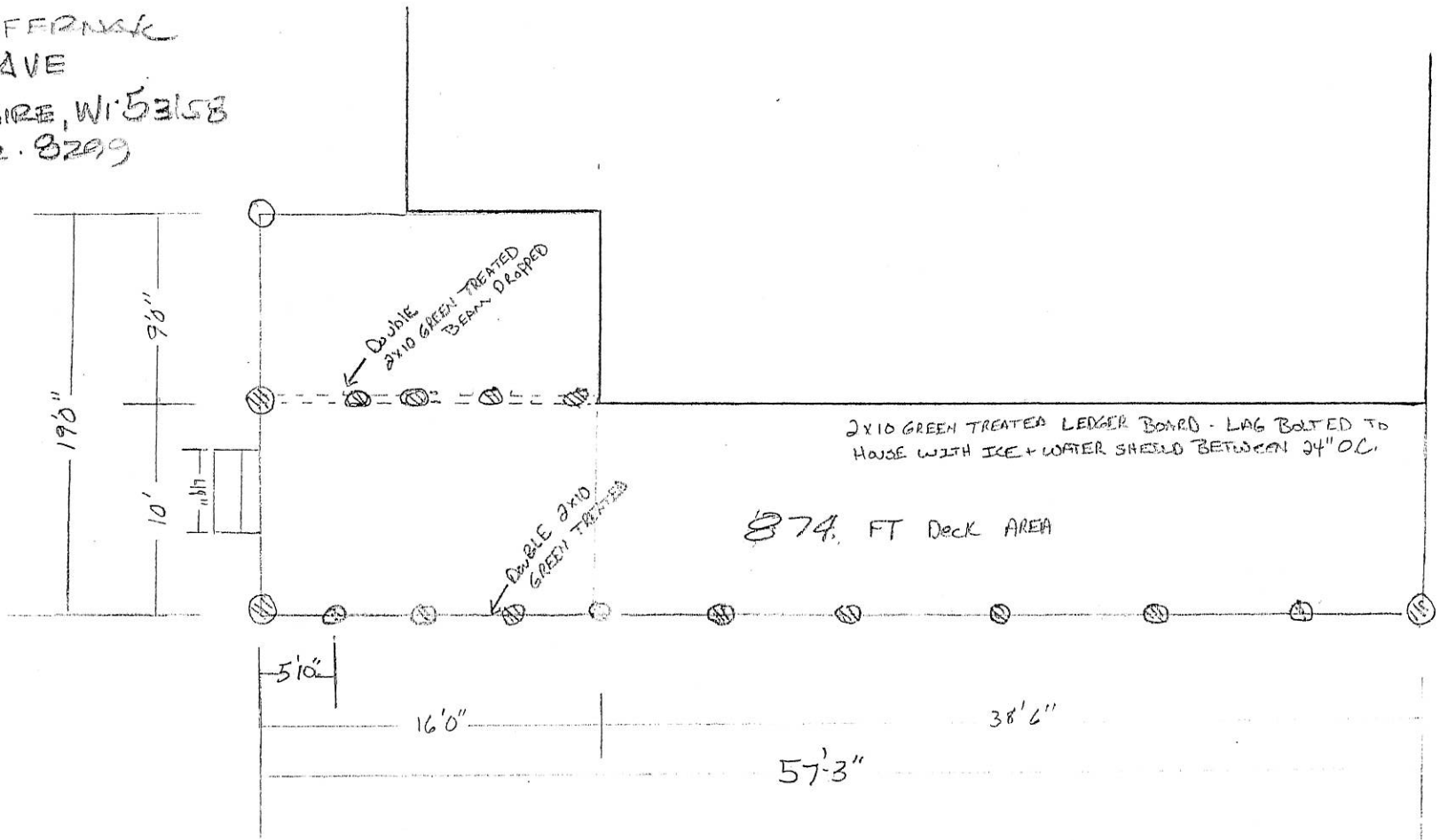
SCALE



1" = 30'

BRUCE SCHAFERNSKI  
 10536 2ND AVE  
 PLEASANT PRAIRIE, WI 53158  
 PH: 262-942-8299

6-13-11



PLANS CONDITIONALLY  
 APPROVED  
 COMMUNITY DEV. DEPT.  
 PLEASANT PRAIRIE, WI

JUN 24 2011

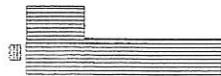
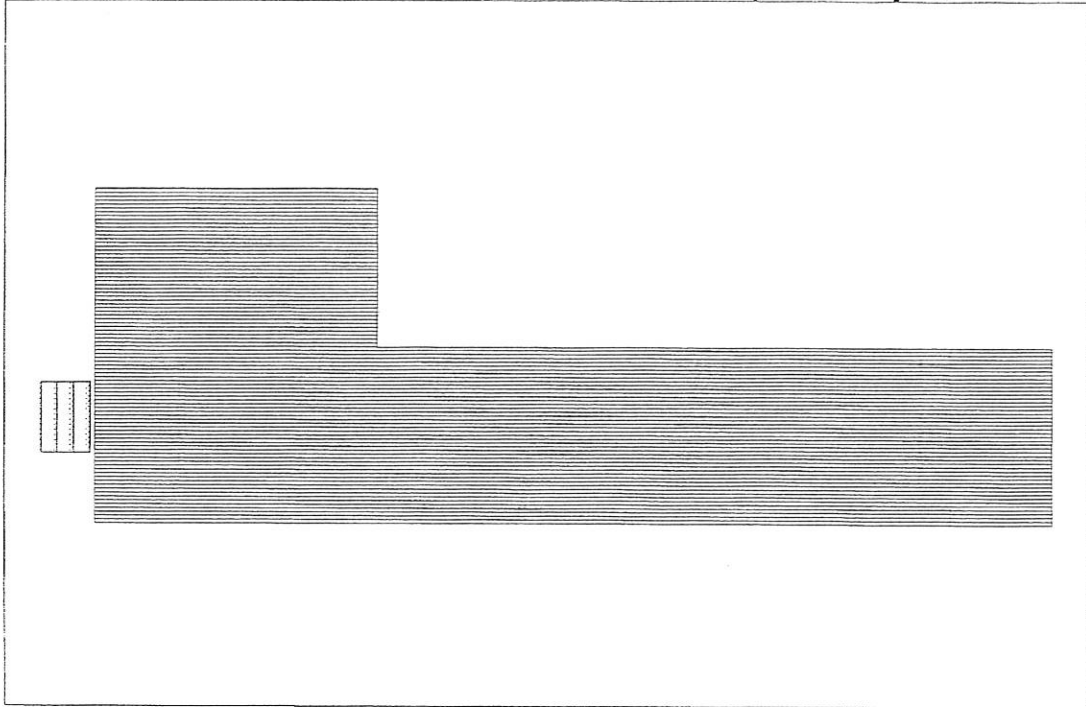
8" POST FOOTINGS 48" MIN. DEPTH 8' CENTER TO CENTER (CONCRETE PIER W/APPROVED POST MOUNT)

2X10 GREEN TREATED 16" O.C. HANGER BOTH ENDS

5/4 CEDAR DECKING

IF DECK IS LESS THAN 24" IN HEIGHT - NO RAILING

\* \* \* Take this sheet to the Building Materials desk to purchase your materials. \* \* \*

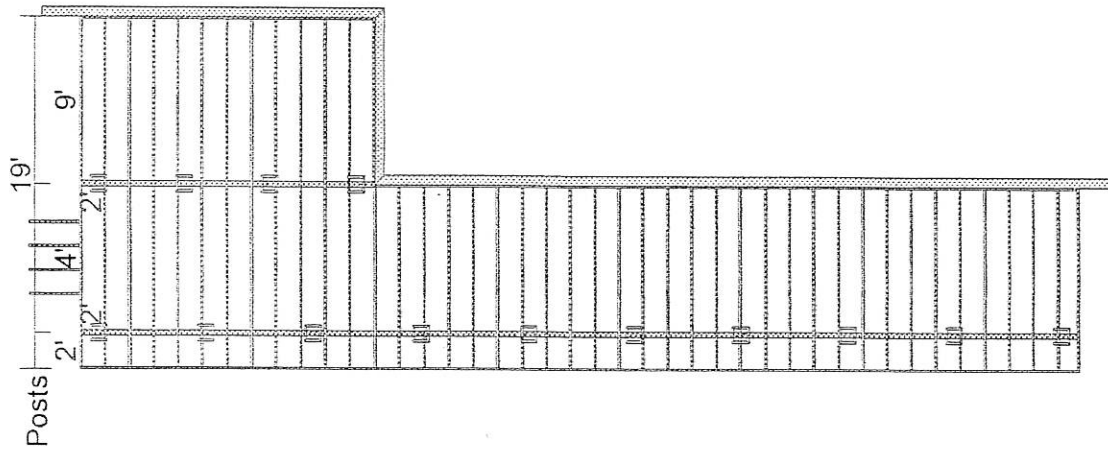
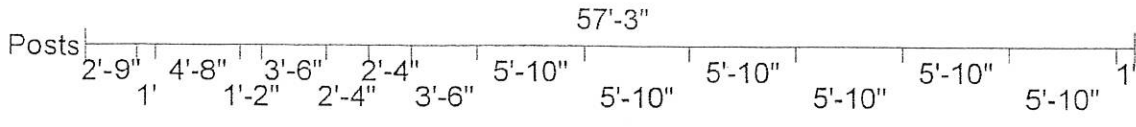


Level 1: 54'-6" x 19'  
2' off the ground  
Horizontal Decking  
2" x 8" Joists  
2 ft cantilever on joists  
2" x 8" Beams  
2 ft cantilever on beams  
40 PSF Deck Live Load

# Today's cost for materials estimated in this design with options: **\$3469.38**

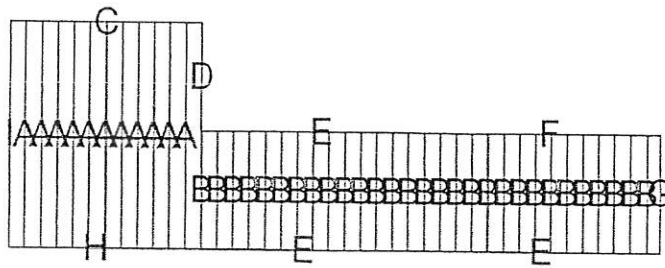
\*The base price includes: 40 PSF deck live load, AC2 treated - horizontal 2x6 deck boards, 4x4 posts, 2x8 joists and beams, galvanized framing fasteners, and premium screws.

\*(BASE price): \$1952.94  
\*\*\*If purchased today, you save: \$44.24\*\*\*  
\*\*\*Monthly BIG Card Payment would be: \$97.43\*\*\*



You may buy all the materials or any part at low cash and carry prices. Because of the wide variable in codes, Menards cannot guarantee that materials listed will meet your code requirements. Check with your local municipality for plan compliance and building permit. These plans are suggested designs and material lists only. Some items may vary from those pictured. We do not guarantee the completeness or prices of these structures. Tax, labor and delivery not included.

Layout dimension sheets are intended as a construction aid. Not all options selected are shown.



Mark	Length	Description	Usage
A	18'9"	11-2x8 Micropro Treated	Joist
B	9'9"	29-2x8 Micropro Treated	Joist
C	15'9"	1-2x8 Micropro Treated	Ledger
D	9'1-1/2"	1-2x8 Micropro Treated	Rim joist
E	20'	3-2x8 Micropro Treated	Ledger
F	18'4-1/2"	1-2x8 Micropro Treated	Ledger
G	9'10-1/2"	1-2x8 Micropro Treated	Rim joist
H	14'6"	1-2x8 Micropro Treated	Rim joist
I	18'10-1/2"	1-2x8 Micropro Treated	Rim joist

Joists to be on 16" centers.

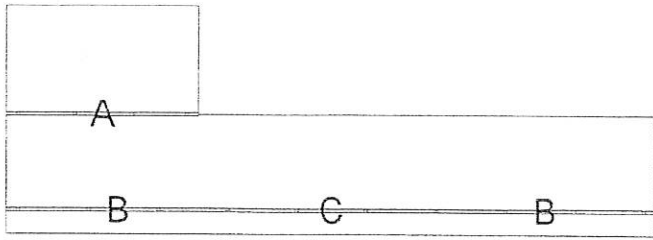
Joists to be hung from the ledger with joist hangers.

Joists to be toe-nailed to beams with 3-1/2" (16d) galvanized nails.

Rim joists to be face-nailed to joists & ledgers with 3-1/2" (16d) galvanized nails.

You may buy all the materials or any part at low cash and carry prices. Because of the wide variable in codes, Menards cannot guarantee that materials listed will meet your code requirements. Check with your local municipality for plan compliance and building permit. These plans are suggested designs and material lists only. Some items may vary from those pictured. We do not guarantee the completeness or prices of these structures. Tax, labor and delivery not included.

Layout dimension sheets are intended as a construction aid. Not all options selected are shown.



Mark	Length	Description
A	16'	2-2x8 Micropro Treated
B	18'6"	4-2x8 Micropro Treated
C	17'6"	2-2x8 Micropro Treated

You may buy all the materials or any part at low cash and carry prices. Because of the wide variable in codes, Menards cannot guarantee that materials listed will meet your code requirements. Check with your local municipality for plan compliance and building permit. These plans are suggested designs and material lists only. Some items may vary from those pictured. We do not guarantee the completeness or prices of these structures. Tax, labor and delivery not included

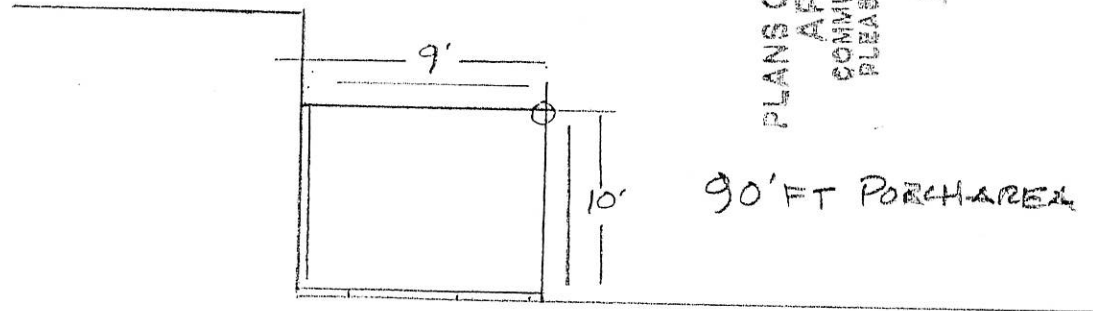
Layout dimension sheets are intended as a construction aid. Not all options selected are shown.



BRUCE SCHAFERNAK  
10536 2ND AVE  
PLEASANT PRAIRIE, WI 53158  
PH: 262-942-8299  
6.13.11

PLANS CONDITIONALLY  
APPROVED  
COMMUNITY DEV. DEPT.  
PLEASANT PRAIRIE, WI

JUN 24 2011



2 X 10 GREEN TREATED LEDGER BOARD  
LAG BOLTED TO HOUSE WITH ICE + WATER  
SHIELD

2 X 10 GREEN TREATED 16" O.C. HANGER BOTH ENDS

5/4 CEDAR DECKING

\* DECK IS LESS THAN 24" IN HEIGHT - NO RAILINGS



**PLEASANT PRAIRIE**

Parent A/P # (if applic) \_\_\_\_\_ Permit A/P # \_\_\_\_\_

**2010 Permit Application For Single Family and Two-Family Residential Electric, Plumbing, HVAC, or Exterior (Utility) Plumbing**

PLEASE FILL OUT A SEPARATE FORM FOR EACH CONTRACTOR

(PLEASE PRINT)

Job Address: 10536 2ND AVE Tax Parcel No.: \_\_\_\_\_

Sub, CSM, Lot #: LOT # 14 (BLOCK 30) CAROL BEACH UNIT # 3

Owner's Name: BRUCE W. SCHAFFERNAK Phone #: 262 942 8299

Mailing Address: PO BOX 580284 City, State, Zip: PLEASANT PRAIRIE WI 53158

Electric  Plumbing  HVAC  Utility (Exterior Plumbing) ESTIMATED VALUE: \$ \_\_\_\_\_

WISCONSIN CERTIFICATION # \_\_\_\_\_

Company Name: HOMEDOWNER Phone #: \_\_\_\_\_

Mailing Address: \_\_\_\_\_ City, State, Zip: \_\_\_\_\_

ELECTRIC	INTERIOR PLUMBING	HVAC	EXTERIOR (UTILITY) PLUMBING
<input type="checkbox"/> New Electric Service for a new home _____ amp new home (SFR): \$150.00 each new home (2FR): \$300.00 each  <input type="checkbox"/> Additional Electric sub-panel <input type="checkbox"/> Generator sub-panel: _____ amp \$50.00 per panel  <input type="checkbox"/> Electric Service Update: FROM _____ amp TO _____ amp And/or: FROM: _____ OH _____ UG TO: _____ OH _____ UG \$100.00 per panel  <input type="checkbox"/> Electric Wiring Extension / Rewiring: _____ sq ft being remodeled or added \$.10/sq ft, min. \$50.00  <input type="checkbox"/> Electric for Swimming Pool, Hot Tub, or Pond \$50.00	# Water Closet/Bidets: _____ # Hose Bibs: _____ # Dishwashers: _____ # Tubs/Shower: _____ # Laundry Trays: _____ # Clothes Washers: _____ # Ejector Pit: _____ # Garbage Disposals: _____ # Sinks: _____ # Floor Drains: _____ # Water Heaters: _____ # Water Softeners: _____ Lawn Sprinkler (AVB): _____ # Other ( ): _____  <input type="checkbox"/> TOTAL FIXTURES: _____ \$5.00 per fixture: new home (SFR): min \$150.00 new home (2FR): min \$300.00 existing home: min \$50.00 (Lawn Sprklr. \$40.00)  <input type="checkbox"/> City of Kenosha Temporary Water Card \$100.10 each, plus above listed Total Fixture fee.	<input type="checkbox"/> New Heating Unit(s) for a new home BTU: _____ new home (SFR): \$150.00 new home (2FR): \$300.00 plus \$25.00 each additional heating unit  <input type="checkbox"/> Additional Heating Unit Added to an Existing Home BTU: _____ \$50.00 per unit  <input type="checkbox"/> Furnace Update/Replace BTU: _____ \$50.00 per unit REPLACED COOL AIR RETURN <input type="checkbox"/> Heating Pipe Extension: _____ sq ft being remodeled or added \$.10/sq ft, min. \$50.00  <input type="checkbox"/> Air Conditioning Unit \$50.00 per unit	<input type="checkbox"/> Road Opening/Work in the Right-of-Way \$150.00 <input type="checkbox"/> Water Lateral \$75.00 each <input type="checkbox"/> Sanitary Sewer Lateral \$75.00 each <input type="checkbox"/> Storm Sewer Lateral \$75.00 each  <div style="border: 1px solid black; padding: 5px;"> <b>Special Assessment Connection Fees:</b>   <b>Property Record Maintenance Fee:</b> (applies to HVAC &amp; PLUMB/ Electric not associated with a construction permit)  <input type="checkbox"/> \$15.00                       Sump grant #: _____   <b>TOTAL FEES DUE:</b> _____                 </div>

FEES SUBJECT TO CHANGE - FOR CURRENT FEES, SEE MOST RECENT FEE SCHEDULE

NOTE: Any work started without the required permits or connection fees result in tripled permit fee amounts. The undersigned Wisconsin Certified Contractor makes application for this permit on behalf of the property owner and therefore takes responsibility for all work for which this permit is issued for in accordance with all applicable State of Wisconsin Codes and all Village of Pleasant Prairie Codes.

WI Certified Contractor Name (PLEASE PRINT): \_\_\_\_\_

WI Certified Contractor Signature: \_\_\_\_\_ Date: \_\_\_\_\_



Village of Pleasant Prairie  
 9915 39th Avenue  
 Pleasant Prairie, WI 53158  
 Building Inspection:  
 (262)694-9304  
 Fax: (262) 925-6786  
 Planning & Zoning:  
 (262)925-6717  
 Fax: (262)925-6787

**Village Of Pleasant Prairie, WI  
 SINGLE FAMILY HOME  
 ELECTRIC  
 PERMIT**

Date Printed: 2/24/2011

**Permit Number:  
 11-02-045**

**PARCEL OWNER:**

CHARMAINE SCHAFERNAK REVOCABLE TRUST  
 P.O. BOX 6387  
 LIBERTYVILLE, IL 60048

Job Location:

**CONTRACTOR:**

(262)770-6737 x

ELITE ELECTRICAL CO, LLC  
 2920 WILLOW RD  
 STURTEVANT, WI 53177

**Parcel Information:**

93-4-123-292-0070-0  
 10536 2ND AVE  
 Subdivision: CAROL BEAC  
 Block: 30 Lot: 14

*Pass Exterior & Service  
 3/14/11 KR*

Estimated Value: 0.00

Current Zoning: LUSA, and C-3

**FEES:**

ELECTRIC SERVICE UPDATE 100.00

**Total Fees: \$100.00**

**CONDITIONS FOR APPROVAL:**

1. Special Zoning Conditions  
 No Special Zoning Conditions
2. Special Building Conditions  
 No Special Building Conditions
3. This permit is valid for 120 days after the acceptance date . Prior to the expiration of the permit all inspections shall be completed. If the work is not completed before the permit expires, the permit may be renewed prior to its expiration date.
4. Prior to performing any electrical work, a Village Licensed Electrical Contractor shall obtain proper permits and shall be in compliance of the National Electrical Code.
5. **The permit applicant is charged with the knowledge of the Village Municipal Code, in particular, the Village Zoning Ordinance and Village Building Code. Copies of said ordinances or portions thereof and copies of the Official Zoning Maps are available for sale, copying or inspection upon request. Any statement made, assurance given or permit erroneously issued contrary to the Village Municipal Code is null and void.**
6. It is the responsibility of the applicant/owner/contractor to follow up on inspection results and correct any violations. For any inspection that your presence is not required and no inspection report has been left at the construction site, you must call the Building Inspection Department at 262-694-9304 to verify whether the inspection has passed or failed.

**Application Number: 11-02-045**

- 7. All required inspections shall be scheduled with the Village at (262) 694-9304 at least 2 business days in advance. If the same inspection fails two times, prior to scheduling the third inspection, a re-inspection fee shall be paid to the Village.
- 8. The undersigned hereby understands and accepts the conditions of this permit and hereby agrees that all work will be done in accordance with all the laws of the State of Wisconsin and all the ordinances of the Village of Pleasant Prairie, Wisconsin; and further agrees to allow a Pleasant Prairie Building Inspection, Zoning and/or Utility Inspector(s), as may be required, to inspect said work at any reasonable time.

OWNER/CONTRACTOR: \_\_\_\_\_ DATE: \_\_\_\_\_  
VILLAGE STAFF: \_\_\_\_\_ *KC* DATE: 2-24-11



PLEASANT PRAIRIE

Parent A/P # (if applic) \_\_\_\_\_ Permit A/P # 11 - 02 - 045

**2010 Permit Application For Single Family and Two-Family Residential Electric, Plumbing, HVAC, or Exterior (Utility) Plumbing**  
PLEASE FILL OUT A SEPARATE FORM FOR EACH CONTRACTOR

9/10/2010

(PLEASE PRINT)

Job Address: 10536 - 2nd Ave Tax Parcel No.: 93-4-123-292-0070

Sub, CSM, Lot #: \_\_\_\_\_

Owner's Name: Bruce Shafernak Phone #: (262) 942-8299

Mailing Address: \_\_\_\_\_ City, State, Zip: Pleasant Prairie, WI

Electric  Plumbing  HVAC  Utility (Exterior Plumbing) ESTIMATED VALUE: \$ \$500.00

WISCONSIN CERTIFICATION # 926916

Company Name: Elite Electrical Co LLC Phone #: 262-770-6737

Mailing Address: 2920 Willow Rd City, State, Zip: Sturtevant WI 53177

ELECTRIC	INTERIOR PLUMBING	HVAC	EXTERIOR (UTILITY) PLUMBING
<input type="checkbox"/> New Electric Service for a new home _____ amp new home (SFR): \$150.00 each new home (2FR): \$300.00 each  <input type="checkbox"/> Additional Electric sub-panel <input type="checkbox"/> Generator sub-panel: _____ amp \$50.00 per panel  <input checked="" type="checkbox"/> Electric Service Update: FROM <u>100 amp</u> TO <u>100 amp</u> And/or: FROM: <u>X OH</u> <u>X UG</u> TO: <u>OH</u> <u>X UG</u> \$100.00 per panel  <input type="checkbox"/> Electric Wiring Extension / Rewiring: _____ sq ft being remodeled or added \$10/sq ft, min. \$50.00  <input type="checkbox"/> Electric for Swimming Pool, Hot Tub, or Pond \$50.00	# Water Closet/Bidets: _____ # Hose Bibs: _____ # Dishwashers: _____ # Tubs/Showers: _____ # Laundry Trays: _____ # Clothes Washers: _____ # Ejector Pit: _____ # Garbage Disposals: _____ # Sinks: _____ # Floor Drains: _____ # Water Heaters: _____ # Water Softeners: _____ Lawn Sprinkler (AVB): _____ # Other ( ): _____  <input type="checkbox"/> TOTAL FIXTURES: _____ <b>\$5.00 per fixture:</b> new home (SFR): min \$150.00 new home (2FR): min \$300.00 existing home: min \$50.00 (Lawn Sprklr. \$40.00)  <input type="checkbox"/> City of Kenosha Temporary Water Card \$100.10 each, plus above listed Total Fixture fee.	<input type="checkbox"/> New Heating Unit(s) for a new home BTU: _____ new home (SFR): \$150.00 new home (2FR): \$300.00 <b>plus \$25.00 each additional heating unit</b>  <input type="checkbox"/> Additional Heating Unit Added to an Existing Home BTU: _____ \$50.00 per unit  <input type="checkbox"/> Furnace Update/Replace BTU: _____ \$50.00 per unit  <input type="checkbox"/> Heating Pipe Extension: _____ sq ft being remodeled or added \$10/sq ft, min. \$50.00  <input type="checkbox"/> Air Conditioning Unit \$50.00 per unit	<input type="checkbox"/> Road Opening/Work in the Right-of-Way \$150.00 <input type="checkbox"/> Water Lateral \$75.00 each <input type="checkbox"/> Sanitary Sewer Lateral \$75.00 each <input type="checkbox"/> Storm Sewer Lateral \$75.00 each  <div style="border: 2px solid black; padding: 5px;"> <b>Special Assessment Connection Fees:</b>   <b>Property Record Maintenance Fee:</b> (applies to HVAC &amp; PLUMB/ Electric not associated with a construction permit)  <input checked="" type="checkbox"/> <del>\$15.00</del>   <b>Sump grant #:</b> _____   <b>TOTAL FEES DUE:</b> _____           </div>

FEES SUBJECT TO CHANGE - FOR CURRENT FEES, SEE MOST RECENT FEE SCHEDULE

NOTE: Any work started without the required permits or connection fees result in tripled permit fee amounts. The undersigned Wisconsin Certified Contractor makes application for this permit on behalf of the property owner and therefore takes responsibility for all work for which this permit is issued for in accordance with all applicable State of Wisconsin Codes and all Village of Pleasant Prairie Codes.


WI Certified Contractor Name (PLEASE PRINT): Steve Bigelow

WI Certified Contractor Signature: \_\_\_\_\_ Date: 2/17/11



**VILLAGE STAFF MEMORANDUM**

TO: Michael Pollocoff, Village Administrator  
Village Board of Trustees

FROM: Jean M. Werbie-Harris,  Community Development Director

SUBJECT: Termination of Development Agreements for Hospice Alliance Foundation, Inc.

DATE: January 8, 2014

Attorney Robert R. Henzl, Hostak, Henzl & Bichler, S.C., agent for Hospice Alliance Foundation, Inc., is requesting a partial termination and release from Agreements entered into by and between the previous land owner (V.K. Development Corporation) and the Village of Pleasant Prairie for public-related infrastructure improvements in the Prairie Ridge Development installed in the land areas located between 88<sup>th</sup> and 104<sup>th</sup> Avenues south of STH 50 as a part of the approved Final Plat for Prairie Ridge Subdivision Addition #1. The specific property that Attorney Henzl is requesting the partial termination for is identified as Tax Parcel Number 91-4-122-082-0143, which is located north of Prairie Ridge Boulevard at 100<sup>th</sup> Avenue. The Agreements are identified below. All of the public related improvements as referenced in the Agreements have been completed, inspected and accepted by the Village. All of the obligations referenced in the Agreements have been fulfilled and financial securities held by the Village have been disbursed.

**The Village staff recommends approval of the Partial Termination of Development Agreements as referenced below and recommends that the Village President and Clerk be authorized to execute the document.**

The Development Agreement and Memorandum of Development were entered into on March 2, 1998 between V.K. Development Corporation and the Village. The Memorandum of Development Agreement was recorded as Document #1088728 on March 12, 1998. The Agreements were related to the completion of the final required public infrastructure improvements for the development based upon the Final Plat and Final Engineering Plans for the Prairie Ridge Subdivision Phase 1 Development (a/k/a Addition #1).

JMWH/jmwh

16

Memorandum of Development Agreement

Recorder's Use Only:

Document Number

Document Title

Prairie Ridge Subdivision  
recorded on March 12, 1998  
as Document #1008.727

DOCUMENT NUMBER

1088728

MEMORANDUM OF AGREEMENT  
RECORDED

at Kenosha County, Kenosha, WI 53140  
Lorraine I. Principer, Registrar of Deeds  
on 3/12/1998 at 1:48 PM

\$22.00

MEMBER

W061

Recording Area

Name and Return Address

Village of Pleasant Prairie  
P.O. Box 905  
Pleasant Prairie, WI 53158-0905

22 91-4-122-081-0112-0

Parcel Identification Number (PIN)

Bader

**This page is part of a legal document. . . DO NOT REMOVE.**

This information must be completed by submitter: document title, name & return address, and PIN (if required). Other information such as the granting clauses, legal description, etc. may be placed on this first page of the document or may be placed on additional pages of the document. Note: Use of this cover page adds one page to your document and \$2.00 to the recording fee. Wisconsin Statutes, 39.317. WRDA 2-96

MEMORANDUM OF  
DEVELOPMENT AGREEMENT

This is a memorandum of the development agreement (the "Agreement") entered into by and between the Village of Pleasant Prairie, Kenosha County, Wisconsin (the "Village") and V.K. Development Corporation, its successors and assigns (the "Developer") as of March 2, 1998 as a condition of the Village's approval of the final plat (the "Approved Final Plat") of Prairie Ridge Subdivision, Phase 1 (the "Subdivision"). The legal description of the real property (the "Property") on which the Subdivision is platted, and which is subject to the Agreement, is set out on the attached Exhibit A, which is incorporated herein by reference.

Among other things, the Agreement requires the Developer to dedicate to the Village, free of charge to the Village and free and clear of any liens or encumbrances, the fee interest in the various public streets and highways shown and described on the Approved Final Plat of the Subdivision, as well as various easements shown and described on the Approved Final Plat, and to dedicate or otherwise convey to other entities various interests in land shown and described on the Approved Final Plat, and to impose various restrictive covenants running with the land on the Property or various portions of it as set out on the Approved Final Plat. The Agreement also requires the Developer to design, locate, provide, construct, install and complete, and to maintain and repair under certain circumstances, at the Developer's cost, specified public improvements on and in the vicinity of the Property, and upon completion of such public improvements, and their inspection and approval by the Village, to dedicate such public improvements to the Village, free of cost to the Village and free and clear of any and all liens or encumbrances. The Agreement provides that the Village has no obligation to maintain any of the public improvements until after it has specifically accepted the dedication of such improvements from the Developer. Further, the Agreement grants to Village officials and their designees the right to enter upon the Property at all reasonable times, without notice, to inspect the status, progress and quality of the work on the required public improvements as well as certain required private improvements. Further, the Agreement provides for the reallocation of the remaining principal balance of \$158,004.00 of a prior special assessment levied on the entire Property for sanitary sewer improvements to Lots 1-49 and Outlots 8, 9, 23 and 24 of the Subdivision as shown on the Approval Final Plat, with the balance of the Property being released from such special assessment, as follows:

Lots 1-49:	\$ 10,289.55 (\$209.00 each)
Outlot 8:	46,878.05
Outlot 9:	28,739.36
Outlot 23:	67,227.46
Outlot 24:	<u>4,868.98</u>
	\$158,003.39



and for the payment of such special assessments in accordance with the provisions of the Agreement. Further, the Agreement provides for special assessments for sanitary sewer improvements to be levied against Outlots 12, 13, 15, 17, 18, 19, 20, 21 and 22 of the Subdivision, as shown on the Approved Final Plat, as follows:

Outlot 12:	\$ 6,124.90
Outlot 13:	37,928.37
Outlot 15:	28,036.52
Outlot 17:	34,362.70
Outlot 18:	6,901.30
Outlot 19:	14,550.23
Outlot 20:	12,134.78
Outlot 21:	5,779.84
Outlot 22:	<u>58,632.26</u>
	\$204,450.90,

and for the payment of such special assessments in accordance with the provisions of the Agreement. Further, the Agreement provides for special assessments for roadway, curb and gutter and storm sewer improvements in 104th Avenue to be levied against Outlots 17, 18, 19, 20, 21, 22, 23 and 24 of the Subdivision, as shown on the Approved Final Plat, as follows:

Outlot 17:	\$ 42,217.92
Outlot 18:	8,478.91
Outlot 19:	17,876.37
Outlot 20:	14,908.75
Outlot 21:	7,101.09
Outlot 22:	72,035.42
Outlot 23:	440,479.48
Outlot 24:	<u>31,904.91</u>
	\$635,002.85,

and for payment of such special assessments in accordance with the provisions of the Agreement. Further, the Agreement provides for special assessments for water system improvements in 104th Avenue, in the amount of \$93,380.00, to be levied against Outlot 23, and to be paid in accordance with the provisions of the Agreement. Further, the Agreement provides that the Agreement and related variances granted by the Village to the Developer are personal, do not run with the land, and cannot be assigned by the Developer without the prior written consent of the Village Board of Trustees. The Agreement also provides that it is not intended by the parties to benefit or be enforceable by any person or entity other than the Village, the Developer and their respective successors and assigns.

IN WITNESS WHEREOF, the Developer and the Village have caused this Agreement to be signed by their duly authorized officers on the dates set out below.

VILLAGE OF PLEASANT PRAIRIE

By *John P. Steinbrink*  
John P. Steinbrink,  
Village President

Date: 3-9-98

V.K. DEVELOPMENT CORPORATION

By *Vincent Kuttemperoor*  
Vincent Kuttemperoor,  
President

Date: 3/9/98

ATTEST:

*Jane M. Romanowski*  
Jane M. Romanowski,  
Village Clerk

Date: 3/9/98

ATTEST:

*Sanjay Kuttemperoor*  
Sanjay Kuttemperoor,  
Secretary

Date: 3/9/98

STATE OF WISCONSIN)

Kenosha COUNTY)

This Agreement was acknowledged before me this 9th day of March, 1998 by Vincent Kuttemperoor, as President, and Sanjay Kuttemperoor, as Secretary, of V.K. Development Corporation.

*Jean M. Wehrle*  
Notary Public, State of Wisconsin  
My Commission expires: 2-17-2002

STATE OF WISCONSIN)

Kenosha COUNTY)

This Agreement was acknowledged before me this 9th day of March, 1998 by John P. Steinbrink, as President, and Jane M. Romanowski, as Clerk, of the Village of Pleasant Prairie.

*Jean M. Werbu*

Notary Public, State of Wisconsin  
My Commission expires: 2-17-2002

This Agreement was drafted by:  
James H. Baxter III  
Quarles & Brady  
411 East Wisconsin Avenue  
Milwaukee WI 53202-4497

EXHIBIT A

LEGAL DESCRIPTION - PRAIRIE RIDGE - VILLAGE OF PLEASANT PRAIRIE  
KENOSHA, WI

DATED: 10/27/97

**SURVEYORS CERTIFICATE:**

STATE OF WISCONSIN }  
KENOSHA COUNTY }ss

I, MICHAEL J. LOSIK, registered land surveyor, do hereby certify:

That I have surveyed, divided and mapped the Preliminary Plat of "Prairie Ridge" same being a subdivision of a part of the Northeast 1/4, Northwest 1/4, Southeast 1/4, and Southwest 1/4 of the Northeast 1/4, the Northeast 1/4, Northwest 1/4, Southeast 1/4, and Southwest 1/4 of the Northeast 1/4, the Northeast 1/4, Northwest 1/4, Southeast 1/4 and Southwest 1/4 of the Southwest 1/4, and the Northwest 1/4, and the Southwest 1/4 of the Southeast 1/4, of Section 8, Township One (1) North, Range Twenty-Two (22) East in the Village of Pleasant Prairie, Kenosha County, Wisconsin, now being more particularly bounded and described as follows:

Beginning at the corner common to the Northwest corner of said Southwest Quarter and the Southwest corner of said Northwest Quarter (West 1/4 Corner of said Section 8); Thence North 02° 27' 11" West along and upon the West line of said Northwest Quarter 1903.48 feet; Thence North 87° 32' 49" East at right angles to the West line of said Quarter Section 273.00 feet; Thence North 02° 27' 11" West parallel to the west line of said Quarter Section 90.00 feet; Thence South 87° 32' 49" West at right angles to the West line of said Quarter Section 223.00 feet and to the East Right-of-Way line of County Trunk Highway "HH" (104th Avenue); Thence North 02° 27' 11" West along and upon said East Right-of-Way line, 500.00 feet to the Southwesterly end of a vision triangle at the Southeast corner of the intersection of said Highway "HH" with State Trunk Highway "50"; Thence North 70° 58' 29" East along and upon the line of said vision triangle 241.04 feet to the Southerly Right-of-Way line of said State Trunk Highway; Thence South 87° 48' 05" East along and upon said Right-of-Way line 2418.95 feet to a point of curve in said Right-of-Way line; Thence Easterly 1921.13 feet along said right-of-way line and the arc of said curve whose center lies to the North, whose central angle is 04° 47' 10", whose radius is 22,998.33 feet and whose chord bears North 89° 48' 20" East 1920.57 feet to a point of tangency in said right-of-way line; Thence North 87° 24' 45" East along and upon said Southerly Right-of-Way line 345.12 feet; Thence South 02° 49' 58" East parallel to the East line of the Northeast Quarter of said Section 8, 95.19 feet; Thence North 89° 46' 38" East parallel to the North line of said Northeast Quarter 269.94 feet to the West Right-of-Way line of County Trunk Highway "H" (88th Avenue); Thence South 02° 49' 58" East along and upon said West Right-of-Way line 321.89 feet to an angle point in said line; Thence South 02° 59' 24" East along and upon said West Right-of-Way line 804.21 feet and to an angle point in said line; Thence South 05° 48' 53" East along and upon said West Right-of-Way line 285.36 feet; Thence South 87° 10' 02" West at right angles to the East line of said Northeast Quarter Section 228.34 feet; Thence South 02° 49' 58" East parallel to the East line of said Northeast Quarter Section 415.00 feet; Thence South 87° 10' 02" West at right angles to the East line of said Northeast Quarter Section 237.64 feet; Thence South 00° 10' 30" West 440.08 feet; Thence South 54° 03' 02" West parallel to the center-line of County Trunk Highway "C" (prior to widening - 1969) 190.00 feet; Thence South 54° 03' 19" West, 113.40 feet; Thence North 17° 44' 28" West 72.21 feet; Thence Southwesterly 202.59 feet along the arc of a curve whose center lies to the North, whose central angle is 25° 54' 35", whose radius is 448.00 feet and whose chord bears South 85° 12' 51.5" West 200.87 feet; Thence North 81° 49' 51" West 155.64 feet; Thence Northwesterly 130.67 feet along the arc of a curve whose center lies to the South, whose central angle is 08° 44' 10", whose radius is 857.00 feet and whose chord bears North 86° 11' 56" West 130.54 feet; Thence North 00° 34' 01" West 210.00 feet; Thence Southwesterly 225.97 feet along the arc of a

curve whose center lies to the South, whose central angle is 12° 08' 02", whose radius is 1067.00 feet and whose chord bears South 83° 21' 58" West 225.54 feet; Thence South 77° 17' 57" West 102.08 feet; Thence Northwesterly 240.92 feet along the arc of a curve whose center lies to the North, whose central angle is 31° 52' 45", whose radius is 433.00 feet and whose chord bears North 86° 45' 41.5" West 237.82 feet; Thence South 20° 22' 10" West 125.18 feet; Thence South 28° 08' 54" West 294.48 feet; Thence Southwesterly 7.14 feet along the arc of a curve, whose center lies to the Southeast, whose central angle is 00° 30' 47", whose radius is 797.00 feet and whose chord bears South 27° 51' 30.5" West, 7.14 feet to a point; Thence Southeasterly 883.93 feet along the arc of a curve whose center lies to the East, whose central angle is 63° 32' 43", whose radius is 797.00 feet and whose chord bears South 04° 10' 14.5" East 839.32 feet; Thence South 35° 58' 38" East 152.79 feet; Thence South 02° 59' 09" East 48.21 feet to the center-line of the aforesaid County Trunk Highway "C"; Thence South 54° 03' 24" West along and upon said center-line 843.38 feet to the West line of said Southeast Quarter Section and an angle point in said center-line; Thence South 55° 57' 45" West along and upon the center-line of said Highway, 971.80 feet; Thence North 02° 37' 48" West, 200.00 feet; Thence South 53° 57' 45" West parallel to the center-line of said Highway, 480.00 feet; Thence South 02° 37' 45" East 200.00 feet to the center-line of said Highway; Thence South 53° 57' 45" West along and upon said center-line 180.17 feet to the West line of the East Half of the Southwest Quarter of said Section 8; Thence North 02° 43' 29" West along and upon said West line 290.25 feet; Thence South 89° 47' 21" West 102.55 feet; Thence South 02° 37' 48" East 882.48 feet to the center-line of said County Trunk Highway "C"; Thence South 63° 57' 45" West along and upon said center-line 59.82 feet to the Northerly line of the abandoned Chicago & Northwestern Railroad Right-of-Way; Thence North 82° 01' 23" West along and upon said railroad Right-of-Way line 47.49 feet; Thence North 35° 57' 03" West 183.28 feet; Thence North 82° 01' 23" West and parallel to the Northerly line of said abandoned railroad 648.66 feet; Thence North 02° 27' 49" West and parallel to the West line of the Southwest Quarter of said Section 8, a distance of 81.68 feet; Thence South 89° 47' 21" West and parallel to the South line of said Southwest Quarter Section 185.00 feet; Thence North 02° 27' 49" West and parallel to the West line of said Southwest Quarter Section 842.31 feet to the Northeast corner of land once owned by Joseph A. Lowe (recorded in Volume 58, Page 29 of the Kenosha County Land Registry); Thence South 87° 32' 11" West and at right angles to the West line of said Southwest Quarter Section 330.00 feet to the West line thereof; Thence North 02° 27' 49" West along and upon the West line of said Southwest Quarter Section 1982.98 feet and to the point of beginning of this description.

Excepting therefrom those parts heretofore dedicated for public street purposes.

Said parcel of land contains approximately 17,924,526 square feet (or 411,4905 acres) of land, exclusive of any lands herein being dedicated for the right-of-ways of 104th Avenue and County Trunk Highway "C" (Wilmot Road).

That I have made such survey, land division and Preliminary Plat under the direction of V.K. Development Corporation, owner of said land.

That such Preliminary Plat is a correct representation of all exterior boundaries of the land surveyed and the subdivision thereof made.

That I have fully complied with the provisions of Chapter 236 of the Wisconsin Statutes and the Subdivision Control Ordinances of the Village of Pleasant Prairie in surveying, dividing and preparing this Preliminary Plat of same.

Date: 12/6/98

PLAN DATE: 10/27/97

Michael J. Losik, P.E., L.S.  
Registered Land Surveyor, S-1065

Now know as lots 1 through 49 and Outlots 1 through 24  
in the Prairie Ridge Subdivision

TERMINATION OF DEVELOPMENT  
AGREEMENT

DOCUMENT NO.

THIS PARTIAL TERMINATION OF DEVELOPMENT AGREEMENT is made as of the \_\_\_\_ day of January, 2013, by the Village of Pleasant Prairie, a Wisconsin municipal corporation, ("Village").

A. On March 2, 1998, the Village and V.K. Development Corporation ("Developer"), entered into a Development Agreement ("Development Agreement") affecting certain real property located in Kenosha County, Wisconsin, and more particularly described on Exhibit A attached hereto and made a part hereof. A Memorandum of Development Agreement, dated March 9, 1998 was recorded on March 12, 1998, with the Kenosha County Register of Deeds as Document No. 1088728.

B. Hospice Alliance Foundation, Inc. owns real property described in Exhibit B attached hereto (the "Property").

C. All of Developer's required public improvement obligations under the Development Agreement with respect to the Property have been fulfilled and all amounts due thereunder have been paid or discharged.

D. The Village desires by this instrument to cause a notice of the termination of the Development Agreement with respect to the Property to be set forth in the public record.

NOW, THEREFORE, for good and valuable consideration the receipt and sufficiency of which are hereby acknowledged, the Village declares, covenants and agrees that all obligations of Developer under the Development Agreement with respect to the Property have been satisfied in their entirety and all amounts due thereunder have been paid or discharged and the Development Agreement is of no further force or effect whatsoever with respect to the Property.

[REMAINDER OF PAGE INTENTIONALLY LEFT BLANK]

[SIGNATURES ON FOLLOWING PAGE]

THIS SPACE RESERVED FOR RECORDING DATA

NAME AND RETURN ADDRESS

Robert R. Henzl  
Hostak, Henzl & Bichler, S.C.  
840 Lake Avenue, Suite300  
Racine, WI 53403

91-4-122-082-0143

Parcel Identification Number



# EXHIBIT A

## LEGAL DESCRIPTION - PRAIRIE RIDGE - VILLAGE OF PLEASANT PRAIRIE KENOSHA, WI

DATED: 10/27/97

### SURVEYORS CERTIFICATE:

STATE OF WISCONSIN }  
KENOSHA COUNTY }  
}ss

I, MICHAEL J. LOSIK, registered land surveyor, do hereby certify:

That I have surveyed, divided and mapped the Preliminary Plat of "Prairie Ridge" same being a subdivision of a part of the Northeast 1/4, Northwest 1/4, Southeast 1/4, and Southwest 1/4 of the Northwest 1/4, the Northeast 1/4, Northwest 1/4, Southeast 1/4, and Southwest 1/4 of the Northeast 1/4, the Northeast 1/4, Northwest 1/4, Southeast 1/4 and Southwest 1/4 of the Southwest 1/4, and the Northwest 1/4, and the Southwest 1/4 of the Southeast 1/4, of Section 8, Township One (1) North, Range Twenty-Two (22) East in the Village of Pleasant Prairie, Kenosha County, Wisconsin, now being more particularly bounded and described as follows:

Beginning at the corner common to the Northwest corner of said Southwest Quarter and the Southwest corner of said Northwest Quarter (West 1/4 Corner of said Section 8); Thence North 02° 27' 11" West along and upon the West line of said Northwest Quarter 1903.48 feet; Thence North 87° 32' 49" East at right angles to the West line of said Quarter Section 278.00 feet; Thence North 02° 27' 11" West parallel to the west line of said Quarter Section 90.00 feet; Thence South 87° 32' 49" West at right angles to the West line of said Quarter Section 223.00 feet and to the East Right-of-Way line of County Trunk Highway "HH" (104th Avenue); Thence North 02° 27' 11" West along and upon said East Right-of-Way line, 500.00 feet to the Southwesterly end of a vision triangle at the Southeast corner of the intersection of said Highway "HH" with State Trunk Highway "50"; Thence North 70° 58' 29" East along and upon the line of said vision triangle 241.04 feet to the Southerly Right-of-Way line of said State Trunk Highway; Thence South 87° 48' 05" East along and upon said Right-of-Way line 2418.95 feet to a point of curve in said Right-of-Way line; Thence Easterly 1921.13 feet along said right-of-way line and the arc of said curve whose center lies to the North, whose central angle is 04° 47' 10", whose radius is 22,998.33 feet and whose chord bears North 89° 48' 20" East 1920.57 feet to a point of tangency in said right-of-way line; Thence North 87° 24' 45" East along and upon said Southerly Right-of-Way line 345.12 feet; Thence South 02° 49' 58" East parallel to the East line of the Northeast Quarter of said Section 8, 95.19 feet; Thence North 89° 48' 36" East parallel to the North line of said Northeast Quarter 269.94 feet to the West Right-of-Way line of County Trunk Highway "H" (88th Avenue); Thence South 02° 49' 58" East along and upon said West Right-of-Way line 321.89 feet to an angle point in said line; Thence South 02° 59' 24" East along and upon said West Right-of-Way line 604.21 feet and to an angle point in said line; Thence South 05° 48' 53" East along and upon said West Right-of-Way line 285.38 feet; Thence South 87° 10' 02" West at right angles to the East line of said Northeast Quarter Section 228.34 feet; Thence South 02° 49' 58" East parallel to the East line of said Northeast Quarter Section 415.00 feet; Thence South 87° 10' 02" West at right angles to the East line of said Northeast Quarter Section 237.64 feet; Thence South 00° 10' 30" West 440.05 feet; Thence South 54° 03' 02" West parallel to the center-line of County Trunk Highway "C" (prior to widening - 1983) 190.00 feet; Thence South 54° 03' 19" West, 113.40 feet; Thence North 17° 44' 26" West 72.21 feet; Thence Southwesterly 202.59 feet along the arc of a curve whose center lies to the North, whose central angle is 25° 54' 35", whose radius is 448.00 feet and whose chord bears South 85° 12' 51.5" West 200.87 feet; Thence North 81° 49' 51" West 155.64 feet; Thence Northwesterly 130.67 feet along the arc of a curve whose center lies to the South, whose central angle is 08° 44' 10", whose radius is 857.00 feet and whose chord bears North 86° 11' 56" West 130.54 feet; Thence North 00° 34' 01" West 210.00 feet; Thence Southwesterly 225.97 feet along the arc of a



curve whose center lies to the South, whose central angle is 12° 05' 02", whose radius is 1087.00 feet and whose chord bears South 83° 21' 58" West 225.54 feet; Thence South 77° 17' 57" West 102.08 feet; Thence Northwesterly 240.92 feet along the arc of a curve whose center lies to the North, whose central angle is 31° 52' 43", whose radius is 433.00 feet and whose chord bears North 86° 45' 41.5" West 237.82 feet; Thence South 20° 22' 10" West 125.18 feet; Thence South 28° 06' 54" West 284.43 feet; Thence Southwesterly 7.14 feet along the arc of a curve, whose center lies to the Southeast, whose central angle is 00° 30' 47", whose radius is 797.00 feet and whose chord bears South 27° 51' 30.5" West, 7.14 feet to a point; Thence Southeasterly 883.93 feet along the arc of a curve whose center lies to the East, whose central angle is 63° 32' 43", whose radius is 797.00 feet and whose chord bears South 04° 10' 14.5" East 839.32 feet; Thence South 35° 56' 36" East 152.79 feet; Thence South 02° 59' 09" East 48.21 feet to the center-line of the aforesaid County Trunk Highway "C"; Thence South 54° 03' 24" West along and upon said center-line 843.38 feet to the West line of said Southeast Quarter Section and an angle point in said center-line; Thence South 53° 57' 43" West along and upon the center-line of said Highway, 971.80 feet; Thence North 02° 37' 48" West, 200.00 feet; Thence South 53° 57' 43" West parallel to the center-line of said Highway, 480.00 feet; Thence South 02° 37' 48" East 200.00 feet to the center-line of said Highway; Thence South 53° 57' 43" West along and upon said center-line 180.17 feet to the West line of the East Half of the Southwest Quarter of said Section 8; Thence North 02° 43' 29" West along and upon said West line 290.25 feet; Thence South 89° 47' 21" West 102.55 feet; Thence South 02° 37' 48" East 382.48 feet to the center-line of said County Trunk Highway "C"; Thence South 53° 57' 43" West along and upon said center-line 59.82 feet to the Northerly line of the abandoned Chicago & Northwestern Railroad Right-of-Way; Thence North 82° 01' 23" West along and upon said railroad Right-of-Way line 47.49 feet; Thence North 35° 57' 03" West 183.28 feet; Thence North 82° 01' 23" West and parallel to the Northerly line of said abandoned railroad 548.68 feet; Thence North 02° 27' 48" West and parallel to the West line of the Southwest Quarter of said Section 8, a distance of 81.68 feet; Thence South 89° 47' 21" West and parallel to the South line of said Southwest Quarter Section 185.00 feet; Thence North 02° 27' 48" West and parallel to the West line of said Southwest Quarter Section 842.31 feet to the Northeast corner of land once owned by Joseph A. Lowe (recorded in Volume 56, Page 29 of the Koshong County Land Registry); Thence South 87° 32' 11" West and at right angles to the West line of said Southwest Quarter Section 330.00 feet to the West line thereof; Thence North 02° 27' 48" West along and upon the West line of said Southwest Quarter Section 1392.98 feet and to the point of beginning of this description.

Excepting therefrom those parts heretofore dedicated for public street purposes.

Said parcel of land contains approximately 17,924,528 square feet (or 411,4905 acres) of land, exclusive of any lands herein being dedicated for the right-of-ways of 104th Avenue and County Trunk Highway "C" (Wilnot Road).

That I have made such survey, land division and Preliminary Plat under the direction of V.K. Development Corporation, owner of said land.

That such Preliminary Plat is a correct representation of all exterior boundaries of the land surveyed and the subdivision thereof made.

That I have fully complied with the provisions of Chapter 236 of the Wisconsin Statutes and the Subdivision Control Ordinances of the Village of Pleasant Prairie in surveying, dividing and preparing this Preliminary Plat of same.

Date: 12/6/98

PLAN DATE: 10/27/97

Michael J. Losik, P.E., L.S.  
Registered Land Surveyor, S-1065

Now know as lots 1 through 49 and Out lots 1 through 24  
in the Prairie Ridge Subdivision

Exhibit B

**Lot 3 of Certified Survey Map No. 2602, recorded November 9, 2007, as Document No. 1539367, being a Redivision of Lot 1 of Certified Survey Map No. 2514, being a part of the Northwest  $\frac{1}{4}$  of Section 8, Township 1 North, Range 22 East, in the Village of Pleasant Prairie, County of Kenosha, State of Wisconsin.**



Office of the Village Community  
Development Director  
**Jean M. Werbie-Harris**

## VILLAGE STAFF MEMORANDUM

TO: Michael R. Pollocoff, Village Administrator

FROM: Jean Werbie-Harris, Community Development Director  
Michael Spence, Village Engineer

DATE: January 28, 2014

SUBJECT: Harpe Development, LLC Agreement

The purpose of this staff memorandum is to address a Set-Off & Release Agreement with Harpe Development, LLC. The Whispering Knoll Subdivision contract nets out the Village of Pleasant Prairie's and Harpe Development's obligations to each other, wraps up the previous Lien Release Agreement, and indemnifies the Village against competing claims to Harpe Development's special assessment refunds.

\*\*\*\*\*

## SET-OFF & RELEASE AGREEMENT

**THIS SET-OFF & RELEASE AGREEMENT** (the “Contract”) is entered into between the Village of Pleasant Prairie, a Wisconsin municipal corporation (the “Village”), and Harpe Development, LLC, a Wisconsin limited liability company (“Harpe”), as of \_\_\_\_\_, 2014.

**WHEREAS**, the parties make this Contract with reference to the following:

a. On October 29, 2013, Harpe purchased fifteen parcels of real estate from Whispering Knoll, LLC (the “Property”). As part of that transaction, Harpe agreed to pay \$45,000.00 to the Village in order to release of the Village’s judgment lien against the Property (the “Lien Contract”). The Village secured Harpe’s payment with a Mortgage against the Property, recorded as Document No. 1714894 with the Kenosha County Register of Deeds on October 30, 2013, which is attached as Exhibit A.

b. As of January 28, 2014, Harpe still owes \$21,875.00 to the Village under the Lien Contract.

c. On July 15, 2013, the Village levied a special assessment against the entire Whispering Knoll subdivision to cover the costs to complete certain necessary improvements. The special assessments against the Property, totaling \$75,359.68, were paid to the Village as part of the Property’s sale to Harpe.

d. The Village subsequently rescinded the entire special assessment on January 6, 2014, and is refunding the special assessments that were already paid to the property owners of record as of that date.

e. As of January 6, 2014, Harpe was the property owner of record for thirteen parcels of the Property. The property owners of record for the other two parcels have agreed that Harpe should receive the refunded special assessments, so Harpe will receive all of the refunded special assessments against the Property.

f. Harpe wishes to pay \$5,835.63 to the Village to cover the remaining cost of improvements to the Whispering Knoll subdivision.

g. Accordingly, the parties wish to set-off these obligations, fulfill their obligations under the Lien Contract, and resolve certain potential claims.

**THEREFORE**, in consideration of the mutual covenants and agreements contained in this Contract, the parties agree as follows:

### **1. SET-OFF, SATISFACTION, AND RELEASE.**

1.1. *Set-off.* The parties agree to set-off the mutual obligations described in the recitals as follows:

<i>The Village's Payments to Harpe</i>	
Special Assessment Refunds	\$75,359.68
<i>Harpe's Payments to the Village</i>	
Balance Remaining on Lien Contract	\$21,875.00
Payment for Final Improvements	\$5,835.63
<i>Net Payment</i>	
From the Village to Harpe	\$47,649.05

This set-off will be effective upon the execution of this Contract. The Village will make the net payment within twenty days of execution.

1.2. *Satisfaction of Mortgage.* Upon the execution of this Contract and the payment described in section 1.1, the Village will execute a Satisfaction of Mortgage in the form attached as Exhibit 1.2 and satisfy the Mortgage against the Properties per the Lien Contract.

1.3. *The Village's Waiver, Release, & Covenant Not to Sue.* The Village, upon the execution of this Contract, absolutely, fully, finally and forever releases and discharges Harpe from all claims, rights, debts, demands, actions, causes of action, liabilities, obligations, interest, attorneys' fees, costs, suits at law or in equity, and damages, of any nature, whether arising in contract, tort, statute or otherwise, now accrued or which may later accrue, whether known or unknown, absolute or contingent, arising out of or related in any way to the Lien Contract. The Village agrees not to pursue, directly or indirectly, any claim, demand, suit, action or proceeding of any kind, or in any manner voluntarily aid the pursuit of any claim, demand, suit, action or proceeding of any kind, or seek to serve as a plaintiff for any claim, demand, suit, action or proceeding of any kind against Harpe arising out of, or based in whole or in part upon, the Lien Contract.

1.4. *Harpe's Waiver, Release, & Covenant Not to Sue.* Harpe, upon the execution of this Contract, absolutely, unconditionally, fully, finally and forever releases and discharges the Village from and against all claims, rights, debts, demands, actions, causes of action, liabilities, obligations, interest, attorneys' fees, costs, suits at law or in equity, and damages, of any nature, whether arising in contract, tort, statute or otherwise, now accrued or which may later accrue, whether known or unknown, absolute or contingent, arising out of or related in any way to the Lien Contract or the Village's refund of the special assessments. Harpe irrevocably agrees not to pursue, directly or indirectly, any claim, demand, suit, action or proceeding of any kind, or in any manner voluntarily aid the pursuit of any claim, demand, suit, action or proceeding of any kind, or seek to serve as a plaintiff for any claim, demand, suit, action or proceeding of any kind against the Village arising out of, or based in whole or in part upon, the Lien Contract or the Village's refund of the special assessments.

**2. INDEMNIFICATION.** Harpe, upon the execution of this Contract, will indemnify, defend, and hold harmless the Village from and against any loss,

expense, liability, damage, or claim (including reasonable attorneys' fees) brought by a party as a result of the Village's refund of the special assessments on the Property to Harpe. The Village will notify Harpe of any such written claim within ten days of receipt.

**3. NO OTHER RELEASES.** The parties expressly agree and acknowledge that this Contract does not release, waive, modify, or adjust any other obligations that may otherwise be due to the Village, either now or in the future, including, but not limited to, special assessments, real estate taxes, utility charges or any other municipal charges of any kind. This Contract only provides for the set-off of certain mutual obligations and the release of certain claims. The Village retains all of its rights and privileges as a municipality to assess, collect, or otherwise enforce its taxing and assessment powers as to the Property.

#### **4. GENERAL PROVISIONS.**

4.1. *Survival.* All of the representations, covenants and warranties contained in this Contract and any documents delivered per to this Contract will survive and remain in full force and effect following its execution.

4.2. *Attorney's Fees.* In any litigation, arbitration, or other proceeding by which one party either seeks to enforce its rights under this Contract (whether in contract, tort, or both) or seeks a declaration of any rights or obligations under this Contract or the applicable laws of the State of Wisconsin, the prevailing party will be awarded its reasonable attorney fees, costs and expenses.

4.3. *Wisconsin Law.* This Contract is delivered in and will be construed and interpreted according to the laws of the State of Wisconsin. The exclusive venue for any dispute herein will be the Kenosha County Circuit Court.

4.4. *Amendment and Construction.* This Contract constitutes the entire agreement between the parties and merges and integrates all prior agreements and representations concerning its subject matter, whether written or oral. There are no agreements, covenants, conditions or limitations of this Contract that are not expressly stated in this Contract. This Contract may be amended only in a written instrument signed by all of its parties. If any portion of this Contract is found by a court of competent jurisdiction to be unlawful, invalid or otherwise unenforceable, the remaining portions of this Contract will continue to be in full force and effect and binding upon each of the parties. No rule of strict construction applies to any party to this Contract.

4.5. *Counterparts.* This Contract may be executed and delivered in any number of counterparts, each of which will be deemed an original, but together constitute one and the same instrument. There is no requirement that each party sign the same counterpart. Documents delivered by facsimile or email shall have the same effect as an original. This Contract will be effective once each of the parties have signed a counterpart and delivered it to the other.

4.6. *Electronic Signatures.* The parties agree that facsimile, emailed, or electronic signatures are as acceptable as originals on this Contract and on any instruments to be delivered per this Contract.

4.7. *Assignment.* Neither the Village nor the Harpe may assign any rights under this Contract to any other party without the prior written consent of the other party, which consent will not be unreasonably withheld. This Contract will be binding upon, inure to the benefit of, and be enforceable by the parties and their respective successors, assigns, heirs, executors and personal representatives. Nothing in this Contract, expressed or implied, confers any rights or remedies arising from this Contract on any other person.

4.8. *Notices.* Except as otherwise specified in this Contract, all payments, notices, demands, requests or other communications which may be or are required to be given or sent by any party to any other party per this Contract will be in writing and will be mailed by first-class mail addressed as follows:

If to Village of Pleasant Prairie:  
Michael R. Pollocoff  
Village Hall  
9915 39th Avenue  
Pleasant Prairie, WI 53158; and

If to Harpe:  
Dustin Harpe  
Harpe Development, LLC  
7530 39th Avenue  
Kenosha, WI 53142; and

David O. Hughes  
Godin Geraghty Puntillo Camilli, SC  
6301 Green Bay Road  
Kenosha, WI 53142

Thomas M. Santarelli  
Madrigano, Aiello & Santarelli, LLC  
1108 56th Street  
Kenosha, Wisconsin 53140

**IN WITNESS WHEREOF**, the parties have entered into this Contract effective as of the date written above.

**[SIGNATURE PAGE FOLLOWS]**

**VILLAGE OF PLEASANT PRAIRIE**

By: \_\_\_\_\_

Michael Pollocoff  
Village Administrator

**HARPE DEVELOPMENT, LLC**

By: \_\_\_\_\_

Dustin Harpe  
Member

Prepared by David O. Hughes  
Godin Geraghty Puntillo Camilli, SC  
6301 Green Bay Road  
Kenosha, Wisconsin 53142

State Bar No. 1085758  
P: 262-657-3500  
F: 262-657-1690  
E: david@ggplawyers.com





Office of the Village Community  
Development Director  
**Jean M. Werbie-Harris**

## VILLAGE STAFF MEMORANDUM

**TO:** Michael R. Pollocoff, Village Administrator

**FROM:** Jean Werbie-Harris, Community Development Director  
Michael Spence, Village Engineer

**DATE:** January 28, 2014

**SUBJECT:** Agreement and Waiver of Special Assessment Notices and Hearing and Partial Termination of Agreement for SB1 Pleasant Prairie, L.L.C. for property located in the Prairie Ridge Development

The purpose of this staff memorandum is to address an Agreement and Waiver of Special Assessment Notices for five (5) original parcels of real estate located in the Prairie Ridge Development and identified as Parcels 1 through 5. (The 6<sup>th</sup> parcel as referenced in the Agreement is a new property acquired by SB1 and not included in the repayment of the special assessment). The five parcels (1 through 5) are subject to a prior Memorandum of Understanding and Waiver of Special Assessment Notices and Hearing under Section 66.0703 of the Wisconsin Statutes entered into between V.K. Development and the Village and recorded at the Kenosha County Register of Deeds Office on November 9, 2007.

The prior Agreement provided for, among other things that certain State Trunk Highway (STH) 50 road improvements would be completed to at the sole cost of VK as a result of the additional traffic and highway impacts due to new commercial development in the Prairie Ridge Development. As indicated in the prior Agreement, in the event that VK had not constructed the improvements required to STH 50 and desired a release of these obligations for one or more Parcels, then the prior Agreement provided a formula for securing the payment of for the construction costs relating to STH 50 improvements described as the Phase 3 Improvements in a Memorandum of Understanding dated August 13, 2007 between the Village and the Wisconsin Department of Transportation ("WISDOT").

Subsequent to the date of the prior Agreement and WISDOT Agreement, WISDOT committed to a major road improvement project that would reconstruct nearly five (5) miles of STH 50, including but not limited to the work required under the Agreements. The Village will be required to financially participate in the STH 50 project with WISDOT.

The Village and SB1 desire to enter into this updated Agreement to reflect the change in circumstances under which the STH 50 road improvement obligations under the previous Agreements will be constructed and paid. Specifically, the Village and SB1 desire to replace all obligations of VK and SB1 to construct and/or pay for the STH 50 roadway improvements under the prior Agreement in accordance with this updated or amended Agreement.

The amended Agreement sets forth the revised dollar amount as updated to current STH 50 construction costs and is based upon a \$1,602,092 estimate prepared by the Village Engineers. As agreed to by the Village and SB1 parties, the Agreement sets forth that whenever there is a sale or transfer of land or any parcel or portion of a parcel of land (other than a subsidiary of their own company), or a land division, or as a pre-condition of obtaining a building permit for development, there needs to be a proportional payment for that parcel land area made to the Village. This payment for the STH 50 road costs, which is due and payable to the Village, is calculated by multiplying the gross square footage of the sale parcel by \$1.45. If the obligations under this Agreement are not satisfied in 10 years from the date of this Agreement in 2024, then the remaining STH 50 road costs shall be levied as a special assessment and that the remaining amount shall be paid in full to the Village.

In addition, as agreed by the parties, a Partial Termination of Agreement will be executed upon the satisfaction of each portion of the assessment on the respective parcels or portions of the parcels as payment is made to the Village.

Please refer to the full Agreement for additional details.

\*\*\*\*\*

AGREEMENT AND WAIVER OF SPECIAL ASSESSMENT NOTICES  
AND HEARING UNDER SECTION 66.0703, WISCONSIN STATUTES

This Agreement is dated this \_\_\_ day of February, 2014 between the VILLAGE OF PLEASANT PRAIRIE, a Wisconsin municipal corporation, (the "Village") and SB1 PLEASANT PRAIRIE, L.L.C., a Delaware limited liability company ("SB1").

RECITALS

The Village and SB1 acknowledge the following:

A. SB1 owns five parcels of real estate located in the Village and described on Exhibit A attached hereto as Parcel 1 through Parcel 5 (individually a "Parcel and collectively the "Parcels").

B. The Parcels are subject to a Memorandum of Understanding and Waiver of Special Assessment Notices and Hearings under Section 66.0703 of the Wisconsin Statutes recorded November 9, 2007 as Document No. 1539378 in the Office of the Kenosha County Register of Deeds (the "Prior Agreement").

C. The Parcels are also subject to development agreements between the Village and V.K. Development Corporation ("VK"), former owner of the Parcels and the documents listed on Exhibit B are recorded against the Parcels to evidence such agreements (collectively the "Development Agreements").

D. The Development Agreements and the Prior Agreement provided for, among other things, certain improvements to on-site and off-site roadways at the sole cost of VK. In the event that VK had not constructed the improvements required to State Highway 50 and desired a release of these obligations for one or more Parcels, then the Prior Agreement provided a formula for securing the payment of road construction costs relating to improvements described as the Phase 3 Improvements in a Memorandum of Understanding dated as of August 13, 2007 between the Village and the Wisconsin Department of Transportation ("WISDOT").

E. Subsequent to the date of the Development Agreements, WISDOT has committed to a major road improvement project that would reconstruct nearly 5 miles of State Highway 50, including but not limited to the work required under the Development Agreements. The Village will be required to financially participate in the project with WISDOT.

F. The Village and SB1 desire to enter into this Agreement to reflect the change in circumstances under which the road improvement obligations under the Development Agreements will be constructed and paid for.

E. The Village and SB1 desire to replace all obligations of VK and SB1 to construct and/or pay for roadway improvements under the Prior Agreement and the Development Agreements with the covenants and agreements set forth below:

## AGREEMENTS

In consideration of the Recitals and mutual covenants set forth below, the Village and SB1 agree as follows:

1. As provided herein, SB1 agrees to pay the Village \$1,602,092 (the "Road Costs") in satisfaction of all obligations under the Prior Agreement and the Development Agreements.

2. The Road Costs shall be due and payable as provided in paragraph 3 below upon the earlier of (a) the sale or transfer, whether voluntary or involuntary, of any Parcel or portion of a Parcel, (b) as a condition to the issuance of a building permit for development of a Parcel or portion of a Parcel or (c) February \_\_, 2024. Notwithstanding the foregoing, the Road Costs shall not be due and payable in connection with a transfer from SB1 or an affiliate of SB1 to an affiliate that is not for the purpose of constructing improvements on the land transferred. For purposes of this paragraph, an "affiliate" shall be any entity owned in whole or in part by the owners of the transferor.

3. Upon the sale, transfer or development of any Parcel or a portion of a Parcel ("Sale Parcel"), a payment of Road Costs calculated by multiplying the gross square footage of the Sale Parcel by \$1.45 shall be due and payable to the Village. The gross square footage of a Sale Parcel shall be determined by: (i) in the case of a platted lot, the area shown on the Final Plat of Subdivision; (ii) in the case of a Sale Parcel that is created by a certified survey map, then the area shown on the certified survey map, or (iii) if the Sale Parcel is neither a platted lot nor a lot on a certified survey map, then the area shall be established by a boundary survey of the land being sold or developed prepared by a licensed Wisconsin surveyor. Upon receipt of such payment, the Village shall release the Sale Parcel from all obligations under this Agreement by delivering a recordable release in the form attached hereto as Exhibit C (the "Release"). If the Road Costs are not paid in full prior to February \_\_, 2024, then the entire unpaid balance of the Road Costs shall be due and payable on February \_\_, 2024 and upon receipt of payment in the amount of such balance, the Village shall deliver a Release of all of the land in the Parcels that has not been previously released.

4. In the event that the entire balance of the Road Costs have not been paid on February \_\_, 2024, or in the event that a sale or transfer of a Parcel or a portion of a Parcel has occurred without payment of the proportionate share of the Road Costs as required under Paragraph 3 herein, then SB1 agrees that the Village may immediately levy special assessments on and against the remaining Parcels, or portions thereof, not previously released from this Agreement in an amount calculated by allocating the unpaid balance of the Road Costs pro rata to the gross square footage of the unreleased portions of the Parcels and assessing the resulting amount against each respective Parcel or unreleased portion thereof. In accordance with Section 66.0703(7)(b) of the Wisconsin Statutes, SB1 hereby waives all special assessment notices and hearings required by Section 66.0703 of the Wisconsin Statutes relating solely to the levying of special assessments for the unpaid balance of the Road Costs after February \_\_, 2024 as described in this Agreement and only against the remaining Parcels 1 through 5, or portions thereof, not previously released from this Agreement. SB1 further agrees and admits that the benefits to the Parcels from the construction of the roadway improvements are in proportion to

the acreage thereof. The foregoing consent by SB1 to the levying of special assessments and SB1's waiver of notice and hearing under Section 66.0703(b) of the Wisconsin Statutes is limited solely to the levying of special assessments relating to the unpaid balance of the Road Costs after February \_\_, 2024 as described herein, and is not and shall not be construed as a consent to special assessment or waiver of notice and/or hearing for a special assessment for any special assessment(s) now contemplated or contemplated in the future by the Village against any part or all of the Parcels.

5. The obligations under this Agreement and the Waiver of Special Assessment Notices and Hearing under Section 66.0703 of the Wisconsin Statutes are obligations which run with the Parcels until released as provided herein, and shall be binding upon SB1, its successors, assigns, and future owners of all or any portion of the Parcels unless and until such Parcels or a portion thereof is released from this Agreement as provided herein.

6. The payment of the Road Costs as described in paragraph 3 above shall be the only payment or obligation due the Village relating to the Parcels and arising out of or relating to (a) the Prior Agreement, (b) the Development Agreements or (c) improvements to Highway 50 including but not limited to reconstruction of Highway 50 and the intersections of Highway 50 and 104th Avenue, 99th Avenue, 96th Avenue, 94th Avenue, 91st Avenue and 88th Avenue. The Parcels shall not be subject to any special assessments relating to the proposed WISDOT Highway 50 project other than as expressly provided in this Agreement. This Agreement shall not affect the obligation of the owners of the Parcels or portions of the Parcels to pay costs relating to improvements to be constructed on the Parcels after the date of this Agreement such as permit and review fees, utility connection fees or other costs relating to the proposed on-site improvements. The payment of Road Costs will not be a requirement of any land division.

7. SB1 acquired Parcel 6 as described on Exhibit A after the Prior Agreement. Parcel 6 is not subject to the Prior Agreement and is not subject to assessment pursuant to this Agreement. However, the Village also agrees that Parcel 6 shall not be subject to any special assessments relating to the proposed WISDOT Highway 50 project.

8. The Village declares, covenants and agrees that all obligations of VK or SB1 under the Prior Agreement and the Development Agreement with respect to the Parcels have been satisfied in their entirety and all amounts due thereunder have been paid, discharged or replaced by this Agreement and the Prior Agreement and Development Agreements are of no further force or effect whatsoever with respect to the Parcels and that the Parcels are hereby released from the Prior Agreement and the Development Agreement.

9. This Agreement may only be amended by a written amendment signed by the Village and the owner of the Parcels or portions thereof that have not been released from this Agreement

10. This Agreement and all matters pertinent thereto shall be construed and enforced in accordance with the laws of the State of Wisconsin. The parties agree that venue for any civil action hereunder shall be filed in the Circuit Court for Kenosha County, Wisconsin, even if another forum might be more convenient for one or more of the parties. In the event of any litigation between the parties, the party that substantially prevails shall be entitled to recover its

reasonable costs and attorney fees from the non-prevailing party. If any provision of this Agreement shall be held to be invalid, void or unenforceable, the remaining provisions hereof shall not be affected or impaired, and such remaining provisions shall remain in full force and effect to the greatest extent permitted by law.

[Signatures on following pages]

The Village and SB1 have caused this Agreement to be signed and dated as of this \_\_\_\_ day of February, 2024.

VILLAGE OF PLEASANT PRAIRIE

BY \_\_\_\_\_  
\_\_\_\_\_,  
Village President

BY \_\_\_\_\_  
\_\_\_\_\_,  
Village Clerk

State of Wisconsin        )  
                                      : SS  
Milwaukee County        )

This instrument was acknowledged before me on the \_\_\_\_ day of February, 2014, by \_\_\_\_\_ and \_\_\_\_\_ as President and Clerk of the Village of Pleasant Prairie.

[Seal]

\_\_\_\_\_  
Notary Public, State of Wisconsin  
My commission expires on

SB1 PLEASANT PRAIRIE, L.L.C.

BY \_\_\_\_\_  
Richard Spinelli, Senior Vice President

State of Wisconsin        )  
                                      : SS  
Milwaukee County        )

This instrument was acknowledged before me on the \_\_\_\_ day of February, 2014, by Richard Spinelli as Senior Vice President of SB1 Pleasant Prairie, L.L.C.

[Seal]

\_\_\_\_\_  
Notary Public, State of Wisconsin  
My commission expires on

This instrument was drafted by:  
David M. Sanders, Esq.  
Reinhart Boerner Van Deuren s.c.  
1000 N. Water Street, Suite 1700  
Milwaukee, WI 53202



## EXHIBIT A

### Legal Description of the Parcels

Parcel 1:

Parcel 1 of Certified Survey Map No. 2175 recorded in the Kenosha County Register of Deeds office on March 1, 2000 as Document No. 1174606, being a redivision of Outlot 17 in Prairie Ridge, a recorded subdivision being part of the Northeast 1/4 of Section 8, Town 1 North, Range 22 East, in the Village of Pleasant Prairie, Kenosha County, Wisconsin.

Parcel 2:

Outlot 18 of Prairie Ridge, a subdivision recorded in the Kenosha County Register of Deeds office on March 12, 1998, as Document No. 1088727, being a part of the Northeast 1/4 of Section 8, Township 1 North, Range 22 East, in the Village of Pleasant Prairie, Kenosha County, Wisconsin.

Parcel 3:

Outlot 20 of Prairie Ridge, a subdivision recorded in the Kenosha County Register of Deeds office on March 12, 1998, as Document No. 1088727, being a part of the Northeast 1/4 of Section 8, Township 1 North, Range 22 East, in the Village of Pleasant Prairie, Kenosha County, Wisconsin.

Parcel 4:

Outlot 21 of Prairie Ridge, a subdivision recorded in the Kenosha County Register of Deeds office on March 12, 1998, as Document No. 1088727, being a part of the Northeast 1/4 of Section 8, Township 1 North, Range 22 East, in the Village of Pleasant Prairie, Kenosha County, Wisconsin.

Parcel 5:

Outlot 22 of Prairie Ridge, a subdivision recorded in the Kenosha County Register of Deeds office on March 12, 1998, as Document No. 1088727, being a part of the Northeast 1/4 of Section 8, Township 1 North, Range 22 East, in the Village of Pleasant Prairie, Kenosha County, Wisconsin, **EXCEPTING THEREFROM:** Parcel 1 of Certified Survey Map No. 2063, recorded in the Kenosha County Register of Deeds office on September 21, 1998 as Document No. 1113314, being a redivision of part of Outlot 22 of Prairie Ridge, a recorded subdivision in Section 8 and being a part of the Southwest 1/4 and Northwest 1/4 of the Northeast 1/4 of Section 8, Township 1 North, Range 22 East, in the Village of Pleasant Prairie, Kenosha County, Wisconsin.

Parcel 6:

All that part of the Northeast 1/4 of the Northeast 1/4 of Section 8, Town 1 North, Range 22 East of the Fourth Principal Meridian, in the Village of Pleasant Prairie, Kenosha County, Wisconsin, now being more particularly bounded and described as follows:

Commencing at the Northeast corner of the said Northeast 1/4 Section; Thence South  $02^{\circ}49'58''$  East and along the East line of the said Northeast 1/4 Section, 264.00 feet to a point; Thence South  $89^{\circ}46'36''$  West and parallel to the North line of the said Northeast 1/4 Section, 60.06 feet to a point on the West Right-of-Way line of "88th Avenue" (C.T.H. "H") and the place of beginning of lands hereinafter described:

Continuing thence South  $89^{\circ}46'36''$  West and along the North line of Outlot 18 of "Prairie Ridge" (A Subdivision Plat of Record) and being parallel to the said North line of the said Northeast 1/4 Section, 269.94 feet to a point; Thence North  $02^{\circ}49'58''$  West and along the East line of said Outlot 18 and being parallel to the said East line of the said Northeast 1/4 Section, 95.19 feet to a point on the South Right-of-Way line of "75th Street" (S.T.H. "50"); Thence North  $87^{\circ}24'45''$  East and along the said South Right-of-Way line, 70.97 feet to a point; Thence South  $74^{\circ}02'18''$  East and along the said South Right-of-Way line, 209.89 feet to a point on the said West Right-of-Way line of said "88th Avenue" (C.T.H. "H"); Thence south  $02^{\circ}49'58''$  East and along the said West Right-of-Way line being parallel to and at a right angle distance of 60.00 feet from the said East line of the said Northeast 1/4 Section, 39.56 feet to the point of beginning of this description.

Said Parcel contains 20,537 S.F. (or 0.4715 Acres) of land, more or less.

## **EXHIBIT B**

### Development Agreements

1. Memorandum of Agreement recorded November 4, 1997 as Document No. 1075619, and the Interim Development Agreement referred to therein.
2. Variance Grant Document No. 97-09 recorded February 10, 1998 on Document No. 1085138.
3. Memorandum of Development Agreement recorded September 18, 1996 as Document No. 1035830 and the Development Agreement referred to therein.
4. Memorandum of Development Agreement recorded March 12, 1998 as Document No. 1088728 and the Development Agreement referred to therein.

**EXHIBIT C**

Release Form

PARTIAL TERMINATION OF AGREEMENT

DOCUMENT NO.

THIS PARTIAL TERMINATION OF AGREEMENT is made as of the \_\_\_\_ day of \_\_\_\_\_, 20\_\_, by the Village of Pleasant Prairie, a Wisconsin municipal corporation, ("Village").

A. On February \_\_, 2014, the Village and SB1 Pleasant Prairie, L.L.C., a Delaware limited liability company ("SB1"), entered into an Agreement and Waiver of Special Assessment Notices and Hearing (the "Agreement") affecting certain real property located in Kenosha County, Wisconsin, and recorded on February \_\_, 2014, with the Kenosha County Register of Deeds as Document No. \_\_\_\_\_.

THIS SPACE RESERVED FOR RECORDING DATA

NAME AND RETURN ADDRESS  
David M. Sanders  
Reinhart Boerner Van Deuren  
1000 N. Water Street, Suite 1700  
Milwaukee, WI 53202

See Exhibit A  
Parcel Identification Number

B. All of SB1's required obligations under the Agreement with respect to the property described on Exhibit A attached hereto (the "Property") have been fulfilled and all amounts due thereunder have been paid or discharged.

C. The Village desires by this instrument to cause a notice of the termination of the Agreement with respect to the Property to be set forth in the public record.

NOW, THEREFORE, for good and valuable consideration the receipt and sufficiency of which are hereby acknowledged, the Village declares, covenants and agrees that all obligations of SB1 under the Agreement with respect to the Property have been satisfied in their entirety and all amounts due thereunder have been paid or discharged and the Agreement is of no further force or effect whatsoever with respect to the Property. This Termination fully satisfies the obligations of SB1 under the Agreement only as to the Property described on the attached Exhibit A and does not discharge, release or terminate any other obligations of SB1 as to any other real estate encompassed by the Agreement and not expressly referenced on the attached Exhibit A.

[SIGNATURES APPEAR ON THE FOLLOWING PAGE]

[REMAINDER OF PAGE INTENTIONALLY LEFT BLANK]

IN WITNESS WHEREOF, the Village hereto has executed this Termination as of the date first written above.

VILLAGE OF PLEASANT PRAIRIE

By: John P. Steinbrink, Village President

ATTEST:

By: \_\_\_\_\_  
Jane M. Romanowski, Village Clerk

STATE OF WISCONSIN )  
  ) ss.  
COUNTY OF KENOSHA )

The foregoing instrument was acknowledged before me this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_, in Pleasant Prairie, WI, by John P. Steinbrink, the Village President and Jane M. Romanowski, the Village Clerk of Village of Pleasant Prairie, for and on behalf thereof.

Print Name:  
\_\_\_\_\_  
Kenosha County, WI Notary Public  
My commission expires:

This Instrument Drafted by:  
Jean M. Werbie-Harris  
Community Development Director  
Village Planner and Zoning Administrator  
Village of Pleasant Prairie  
9915 39th Avenue  
Pleasant Prairie, WI 53158

**EXHIBIT A**  
**LEGAL DESCRIPTION**



**Date:** February 3, 2014

**To:** Michael Pollocoff, Village Administrator  
Members of the Pleasant Prairie Village Board of Trustees

**From:** Chris Lopour  
Communications Director

**RE:** Service Agreement for Peak Democracy's public forum software "Open Town Hall"

---

Open Town Hall is a public forum software that we can easily attach to our existing website. The product would allow us to publicly present a municipal topic with in depth information (similar to the information included in Village Board or Plan Commission Packets), and then solicit different forms of feedback from residents who have registered as forum participants.

The main purpose behind the software is to provide residents with a new means of learning about local government issues and providing feedback in a setting where they will feel safe and comfortable doing so. This will also allow residents to participate in community matters even if they are unable to attend a public meeting. Village decision makers and staff would then have access to relevant feedback that could be used as an additional component of their decision making process (this feedback is visible to anyone visiting the topic as well).

Via a structured online environment, Peak Democracy will: facilitate resident participation in community topics; prevent or limit disruptive behavior that discourages participation; and enable decision makers to effectively process large amounts of diverse feedback.

The Alliance for Innovation first introduced Open Town Hall to the Village in June of 2012. In November of 2012, staff attended a seminar presented by Peak Democracy related to their product. I was impressed with how thoroughly the product developers addressed the challenges related to public forums.

Since that time, I've visited several municipal websites (Eau Claire is the first in Wisconsin <http://web.ci.eau-claire.wi.us/e2c2/>) that were already using Open Town Hall. I also spoke to staff at similar sized municipalities that are using Peak Democracy's product/service. All were incredibly impressed with the performance of the product and with the support services received from Peak Democracy staff. Funding for Open Town Hall was included in the 2014 budget.

**Recommendation:**

It is my recommendation that the Village enter into a one-year Service Agreement for the Open Town Hall product with Peak Democracy in the amount of \$6,000.





# OPEN TOWN HALL

## *Exhibit A: Scope of Work*

---

Open Town Hall is a feature-rich online civic engagement service that is designed to help government agencies and their communities identify and explore broad public interests and ultimately increase public trust in government. This document summarizes how Open Town Hall connects each user's experience with broad public interests and builds that trust.

# Table of Contents

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Scope of Services.....	1
Forum Support Services .....	2
Information Technology Services .....	4
Work Products.....	7
The Open Town Hall Portal.....	7
Nine Ways to Guide the Dialog .....	8
Ten Ways to Glean Common Interests .....	10
Additional Features.....	13
Forum Administration.....	14
Topic Introductions .....	16
Marketing Templates .....	16
Email Announcements .....	16
Comment Monitoring.....	16
Emails to Disruptive Authors.....	16
Topic Reports .....	16
Obligations of the Client.....	17
Before the First Topic .....	17
For each topic.....	17
Performance Standards.....	18
Turnaround Time for Comment Monitoring .....	18
Turnaround Time for Service Requests from Client .....	18
Turnaround Time for Service Requests from other Users.....	18
Records Retention .....	18
Key Contractor Personnel.....	19
Robert Vogel, CEO .....	19
Rob Hines, Account Manager .....	19

# *Scope of Services*

---



Peak Democracy staff will provide the following support services.

### Training

#### Description

Via web conferencing, Peak Democracy staff will provide training on how to use the service.

### Best Practices

#### Description

Peak Democracy staff will provide advice and documentation on best practices for government online forums – including best practices on how to maintain civil and legal forums as well as best practices on how to optimize the quality and quantity of user participation.

### Webpage Look

#### Description

Peak Democracy staff will make clients forums match the look of the client’s website by customizing images, colors and fonts. Client can also designate a name for its services such as “Open City Hall”, “Open County Hall”, or other custom name.

### Heat Maps

#### Description

Peak Democracy staff will post maps on the client’s service that correspond to Shape or KML files provided by client.

### Topic Development

#### Description

Peak Democracy staff will help client staff craft topic content, and post topic content on client’s website.

---

## Topic Marketing

### Description

Peak Democracy staff will work with client staff to market topics via techniques such as press releases, posting on social media, HTML-formatted email announcements to email subscriber lists, and professionally designed flyers with QR codes.

---

## Technical Support

### Description

Peak Democracy staff will provide technical support to client staff. This support will be available via email, phone and web conferencing.

---

## Community Assistance

### Description

Peak Democracy staff will provide a help desk for the client's user community. This assistance will be available primarily via links on service to email, and when necessary via phone.

---

## Forum Monitoring

### Description

Peak Democracy staff (in conjunction with Company's software) will monitor user registrations and content posted on the client's service.

---

## User Authentication

### Description

Peak Democracy staff (in conjunction with Company's software) will authenticate all users that register. This authentication includes, (1) confirming that each registrant's email address is active, (2) geocoding each registrant's street address, and (3) monitoring each registrant's name, IP address as well as browser cookies.

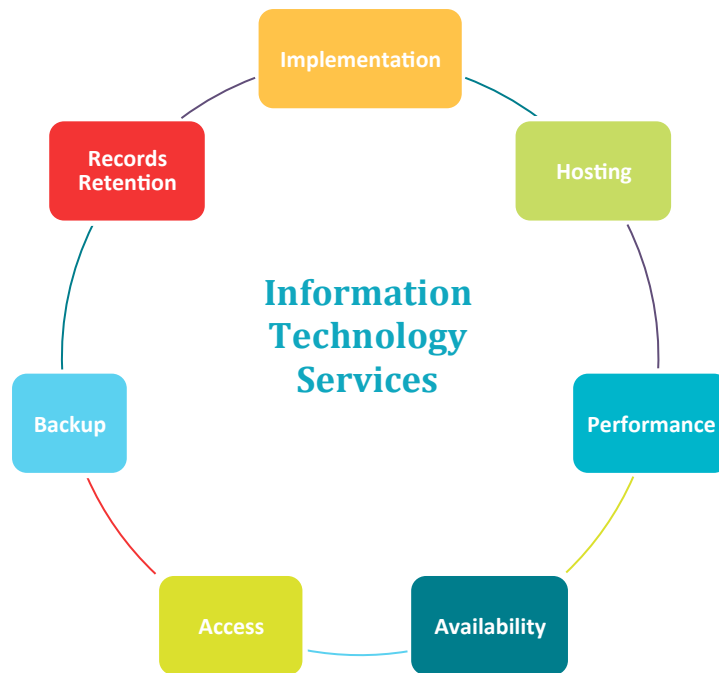
---

## Issue Reconciliation

### Description

If Peak Democracy software and staff detect activities or content that potentially violates the client's guidelines, then Peak Democracy staff will work with client staff to reconcile the issue.

---



Peak Democracy will provide the following Information Technology Services.

---

### Implementation

#### Description

At the client’s discretion, Peak Democracy will implement the service on either: (a) an iframe on a webpage within the client’s website, (b) a PeakDemocracy.com subdomain established for the client, or (c) a dedicated website domain established by the client.

---

### Hosting

#### Description

Peak Democracy will host client’s service on a server provisioned by the Company.

---

### Performance

#### Description

Peak Democracy will provide network bandwidth between its servers and the Internet at levels that are comparable to popular consumer web services.

---

### Availability

#### Description

Peak Democracy will continuously monitor client’s service for availability.

---

### Access

#### Description

Peak Democracy will maintain access to client’s service 24 hours a day, 7 days a week.

---



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## Backup

### Description

Peak Democracy will maintain daily backups of client's service.

---

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## Records Retention

### Description

Peak Democracy will retain the client's service for the client's record retention period via Amazon.com's S3 storage service that provides 99.999999999% durability. Client's staff can also download its forum content in PDF and CSV format for the client's own storage, archive and analysis

---



# *Work Products*

---

## **The Open Town Hall Portal**

Peak Democracy will provide the client with one Open Town Hall portal and grant administrative access to that portal for an unlimited number of full or part time employees of client. The Open Town Hall portal will support these features:

- Nine Ways to Guide the Dialog
- Ten Ways to Glean Common Interests
- Additional Features
- Forum Administration



Open Town Hall features nine kinds of topics, each designed to guide the public dialog toward broad public interests.

### Formal Feedback

#### Description

Structured like a council or commission meeting, each user submits one on-topic statement per topic.

#### Guidance

Users are restricted to one statement per topic to preclude any one person from dominating the forum. Peak Democracy monitors every statement to ensure it is on topic defined by the client to be in the broad public interest. If necessary, staff can post a response either publicly or privately to a statement.

### Feedback With Support

#### Description

Users submit one on-topic statement per topic, which other users can support. Readers can sort statements by support.

#### Guidance

In addition to Formal Feedback guidance, the links posted by social media share buttons bring friends back to participate in the topic, not to support the sharer's statement. The support count can also be hidden to preclude the perception of a vote.

### Open Ideas

#### Description

Structured like a workshop or charrette, each user submits ideas in an open brainstorming phase.

#### Guidance

Following the standard brainstorm protocol, initial ideas are not evaluated or treated as final candidates for implementation. Rather, they are reviewed by a facilitator, who synthesizes a small number of feasible themes in the broad public interest. During the refine phase, the community and the facilitator discuss the facilitator's themes.

---

## Tally

### Description

Users select preferred option from a list of options

### Guidance

The options are defined by the client to be in the broad public interest, and are labeled 'positions' not 'votes'. The links posted by social media share buttons bring friends back to participate in the topic, not to support the sharer's position.

---

## Priority 500

### Description

Modeled after participatory budgeting workshops, users allocate \$500 to a set of priorities

### Guidance

Users asked to prioritize items pre-defined by client to be in the broad public interest, with a limited (\$500) budget.

---

## Priority List

### Description

Users drag items up or down to prioritize them in a list.

### Guidance

Users asked to prioritize items pre-defined by client to be in the broad public interest.

---

## Area Plan

### Description

Users place land use place-types (e.g., open space, commercial, etc.) on a map to indicate preferred land use.

### Guidance

Users asked to use place types pre-defined by client to be in the broad public interest.

---

## Survey

### Description

Users complete a traditional survey.

### Guidance

Users are guided through a series of questions designed by the client. Responses are constrained to lie within parameters defined by the client for each question. Each question can be one of six types: Textbox, Textarea, Radio Buttons, Checkboxes, Numeric and Select from list.

---

## Blog

### Description

A blogger (staff) writes topical posts designed to pique interest in the project.

### Guidance

Users can write comments on the post's topic and on other users' comments Users are required to post comments on the post's topic.

---



Peak Democracy features ten 'Insights' that are publicly available analysis tools that reflect common interests back to the community. Not just back-end analysis tools (that are only available to staff), Insights are available to all residents, enabling every resident to better understand the broad public interests in their own community, and thereby build consensus.

## Word Cloud

### Description

An interactive set of words sized to reflect their frequency in the submitted statements. Clicking a word displays all statements containing that word.

### Reflected Interests

Shows interests expressed through frequently used words found across many statements.

## Search

### Description

A form used to select statements from authors in specific cities or statements containing a user-defined phrase.

### Reflected Interests

Shows how interests vary from city to city, and how interests are expressed through a key phrase.

## Demographics\*

### Description

A clickable bar graph displaying the number of users by age, gender or frequency of participation.

### Reflected Interests

Shows how interests vary by age or by gender. The frequency of participation graph reflects how the interests of 'frequent flyers' (residents who frequently participate in Open Town Hall) differ from those participating for the first time.

---

## Map

### Description

An interactive map displaying regions within the client's jurisdiction: council districts, planning districts, bull's eye circles around a project, transportation corridors, focus areas, neighborhoods, etc. For Tally, Priority 500 and Priority List topics, hovering over regions also displays the tally, average allocation or average priority of users from that region.

### Reflected Interests

Shows how interests vary by place, e.g., distance from a project or a neighborhood.

---

## Tally

### Description

Tally of positions over all participants

### Reflected Interests

Shows trends in preferred position across all participants.

---

## Average Allocation

### Description

The amount allocated to items in a Priority 500 topic, averaged over all participants.

### Reflected Interests

Show trends in Priorities over all participants, given limited resources.

---

## Average Priority

### Description

The priority rank of all items averaged over all participants.

### Reflected Interests

Shows trends in Priorities over all participants.

---

## Aggregate Area Plan

### Description

An interactive map displaying all place types as located by all participants. Specific categories of place types (e.g., open space, industry, commercial development) can be selectively displayed.

### Reflected Interests

Shows where participants would like to see open space, industry, commercial development, etc.

---

## Connected Statements

### Description

"Users who support this statement also supported these statements". Borrowed from Amazon.com's shopping feature: "Users who bought this book also bought these books". A clickable listing or graph of statements, connected with other statements by users who support multiple statements.

### Reflected Interests

Shows interests grouped by similar content. Since two statements are connected when someone supports them both, connected statements tend to have similar content (like the books listed in Amazon's shopping feature).

---

## Pending Statements

### Description

Statements that are not shown on the main statements page, either because the author has not yet finished registering with Peak Democracy, or because the statement does not meet the

### Reflected Interests

Shows interests of those who have not yet finished registering, or have written uncivil statements

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client's guidelines for civility.

---

\*Note that the demographics insight is only available to staff – as many users are reluctant to post their year of birth on a public website.

## Additional Features

In addition all topic types have access to the following features and services:

Feature / Service	Benefits
All topics can be embedded in the agency's official website	This creates a formality (like council chambers) which encourages statements that are on topic and civil.
Animated widgets available to embed on the agency's home page and other websites.	To build participation
Name Not Shown For each topic, the client can require participants to display their full name next to their content, or allow them to display "Name not shown." In either case, full registration is required by participant, and full authentication is conducted by Peak Democracy.	To build participation
Users can post video, images, files and other media types with statements.	To build participation
Optimized presentation for mobile phones	To build participation
QR code generator available	To build participation
Subscription via SMS available	To build participation
Integrates with social media	To build participation
Topic marketing services, including professionally designed html email announcements and posters	To build participation
Translation via Google translate	To build participation
All public data downloadable via PSD and CSV (spreadsheet) files	To facilitate review and analysis



In addition we provide these back end tools to create and manage topics and to monitor and build participation. Note that Peak Democracy and staff both have access to these tools. Peak Democracy typically takes an active role in forum administration, at the discretion of the client.

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### Peak Network

#### Description

Search tool into a knowledge base that enables administrator to search by key word across all topics launched by all Peak Democracy clients. Topics in the search results can be copied into the administrator’s portal with a single click.

#### Purpose

To help the administrator design a new topic by providing easy access to existing topics that have common objectives, and to use them as a starting template with a single click.

---

### Topic Editor

#### Description

Simple editor for creating new topics and managing existing topics, including their name, question, introduction, closeout statement, list of public officials who are listening and configuration of the various input tools: Tally, Priority 500, Priority List, Area Plan, Map selection etc.

#### Purpose

To enable the admin to easily create and/or manage topics, preview draft topics in private mode with other admins (including Peak Democracy), and launch topics.

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## Forum Editor

### Description

Simple editor for grouping topics into forums: categories of topics around similar themes.

### Purpose

To enable users to easily navigate to topics of interest.

---

## Announcement

### Description

A button to announce topics and topic updates to current subscribers

### Purpose

To notify subscribers of key developments in the forum topics.

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## User Surveys

### Description

First time users will be surveyed on their satisfaction with the service.

### Purpose

To build participation by monitoring user satisfaction and improving the service to meet user requirements

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## Participation reports

### Description

Cumulative visitors, participants and subscribers

### Purpose

To build participation by tracking it and its correlation with outreach efforts.

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## Monitoring the Monitor

### Description

Real-time monitoring of Peak Democracy's monitoring of statements.

### Purpose

To provide the admin with an overview of Peak Democracy's monitoring process, including a list of statements that are civil versus not civil and their status in the statement resolution protocol.

---

## Topic Introductions

Peak Democracy will be available to write the topic introductions that guide the dialog and frame the topic. We will also be available to review and/or edit the client's drafts at client's discretion.

## Marketing Templates

Peak Democracy will provide the client with templates that can be used to market each topic, including drafts of press releases, announcements for emails or newsletters for the client to distribute and drafts of posters or fliers for the client to print and distribute.

## Email Announcements

Peak Democracy will be available to draft emails that announce new topics and updates to existing topics. Upon client's approval, Peak Democracy will distribute those announcements to subscribers.

## Comment Monitoring

Peak Democracy staff and software will monitor every comment to ensure each comment complies with the client's guidelines for civility. If Peak Democracy believes that a comment may not meet those guidelines, we move the comment off the forum onto a separate page (the 'Pending Statements' page) and ask our client whether the statement violates their guidelines for civility. If the client confirms that the statement violates the guidelines, then Peak Democracy contacts the author (see below). If the client decides the statement does not violate the guidelines, then Peak Democracy moves the statement back on to the forum page.

In no case does Peak Democracy edit or delete any comment without the author's approval.

## Emails to Disruptive Authors

When the client acknowledges that a participant's statement violates the client's guidelines for civility, Peak Democracy will draft an email to the participant inviting him or her to edit their statement to comply with those guidelines. Upon client's approval of that draft, Peak Democracy will send it to the author and keep the client apprised of any changes or emails received from the participant.

## Topic Reports

Peak Democracy will be available to generate a PDF and/or a spreadsheet of all comments and other public input from participants. The client and/or members of the general public can also download these same documents from the Open Town Hall forum.

# Obligations of the Client

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Drawing on our experience from more than 1000 forum topics, Peak Democracy is available to assist the client in executing each of these tasks.

## Before the First Topic

Before launching the first topic, the client will

- Approve the guidelines for civility
- Formulate the initial outreach strategy
- Select a home page for the forum, either on the client's website or on one provisioned by Peak Democracy
- Should the home page be on the client's website, then the client will embed an html snippet provided by Peak Democracy in that page.
- 

## For each topic

For each topic, the client will

- Select the topic for public input
- Provide background information
- Approve any topic introduction written by Peak Democracy
- Approve any marketing materials distributed by Peak Democracy
- Review statements that Peak Democracy identifies as potentially uncivil. For each such statement, the client classifies it as either meeting or failing to meet the client's guidelines for civility. For each uncivil statement, the client approves all emails sent by Peak Democracy to the author.

Though it is not strictly required, it is highly recommended that the client posts an 'outcome statement' at the conclusion of each topic which summarizes the decision made or the action taken. If possible, the outcome statement should describe how input from Open Town Hall was incorporated into the decision process. Our experience tells us that when clients post outcome statements, residents receive feedback that their participation is worthwhile, they continue to participate, and public trust in government grows.

# *Performance Standards*

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## **Turnaround Time for Comment Monitoring**

Peak Democracy software will monitor all comments immediately as they are entered by users. Peak Democracy staff will monitor all comments: 95% of comments will be monitored within 20 minutes of posting during business hours (8am – 5pm Pacific Time), and 95% of comments will be monitored within 12 hours of posting off business hours.

## **Turnaround Time for Service Requests from Client**

Peak Democracy will respond to all service requests: 95% of all service requests will be responded to within one hour of receipt of the request via email or phone during business hours.

## **Turnaround Time for Service Requests from other Users**

Peak Democracy will respond to all service requests: 95% of all service requests will be responded to within 4 hours of receipt of the request via email during business hours.

## **Records Retention**

Peak Democracy will maintain all input from users on Amazon.com S3's storage designed to provide 99.999999999% durability.

# Key Contractor Personnel

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Peak Democracy prides itself on providing superb custom service to its client government agencies. In order to assure that our government clients are delighted (not just satisfied) with our service, we assign a member of our executive team to each client support team.

## Robert Vogel, CEO

Each support team is led by our co-founder and CEO – Robert Vogel. Many consider Robert to be the country’s trail-blazer and leading expert in government online civic engagement.



## Rob Hines, Account Manager

The other key person on the support team will be Rob Hines. Rob has been the account manager for more than 50% of Peak Democracy’s clients. He has a great deal of experience and education regarding urban and regional planning – as well as public outreach.



*Excerpts of the resumes for Robert and Rob are inserted below.*

# Robert Vogel, CEO

Peak Democracy Inc, PO Box 516, Trinidad, CA 95570

Phone: 866 535 8894 Fax: 866 506 4598 E-Mail: Robert@peakdemocracy.com

## Experience

**CEO and Co-Founder, Peak Democracy, Inc.** **Nov 2007 - Present**

- Co-founded Peak Democracy, Inc with the mission to broaden civic engagement and build public trust in government by providing online civic engagement services to cities, counties and other government agencies
- Directed the development of software used by more than 50 agencies in more than 900 forums nationwide

**Executive Director, Kitchen Democracy** **March 2006-October 2007**

- Founded a non-profit organization funded partially by a grant from the City of Berkeley CA to facilitate online civic engagement in that city
- Delivered online civic engagement services to more than 5000 Berkeley residents

**CEO and Founder, Onsite Systems, Inc.** **1982 - 1996**

- Founded Onsite Systems, Inc. to provide technology assisting large pharmaceutical firms in their clinical trials of new drugs
- Accelerated the submission of more than 50 new drug applications to the FDA and overseas regulatory agencies for the 30 largest global pharmaceutical firms
- Maintained profitability for all but one of the 14 years. Sold the company in 1996 and worked for the acquirer for two years as advisor/consultant

## Education

**Master's Degree in Physics, UC Berkeley** **2006**

Specialized in cosmology funded by the laboratory of Nobel Laureate Saul Perlmutter

**Master's and Bachelor's Degree in Mathematics, University of Chicago** **1978**

Four year combined undergraduate and graduate program. Awarded the Paul R. Cohen award for outstanding achievement in mathematics as an undergraduate

## Skills

Focused technical, scientific and senior executive skills required to found and build successful pioneering technology firms

# Rob Hines, Account Manager

Peak Democracy Inc, 1900 Addison Street, Suite 200, Berkeley CA 94704  
Phone: 866 535 8894 Fax: 866 506 4598 E-Mail: robhines@peakdemocracy.com

## Experience

### Account Manager, Peak Democracy, Inc.

August 2012 – Present

- Consults with clients to develop a targeted approach using the most appropriate tools to deploy a custom online civic engagement solution on a topic-by-topic basis.
- Works within the Peak Democracy Customer Service Team to identify opportunities for the development of new tools, processes, and workflows to improve client service.
- Assists and trains clients to use Peak Democracy's software solutions.

### Senior Organizer, Green Party of Canada

January 2008 - July 2012

- Recruits, interviews, and screens candidates to run for the office of Member of Parliament in Electoral Districts across Canada.
- Assists executive officers of riding associations in managing their organizations which would include giving advice on how to draft annual plans, conduct meetings, maintain records, access data, and adhere to the legislative requirements of The Elections Act, The Privacy Act, Riding Association Constitution, and the Constitution of the Green Party of Canada.
- Manages conflict, communication gaffes, and potential crisis situations.

## Education

Cape Breton University - Sydney NS  
General BA

1 Year

Ryerson University - Toronto ON  
BAA Urban Planning & Regional Planning

1 Year

Dalhousie University - Halifax NS  
BA Urban Design

1 Year

## Skills

- Structured and goal oriented with attention to process, stakeholders, and communication and encourages the empowerment of individuals with capacity building and motivation.
- Gets the job done quickly and efficiently with excellent problem solving skills.

**Service Agreement**  
**for**  
**Open Town Hall powered by Peak Democracy Inc**

This agreement (“**OPEN TOWN HALL AGREEMENT**”) entered into as of the date that this OPEN TOWN HALL AGREEMENT is fully executed by all parties, is by and between:

- **The Village of Pleasant Prairie** (“**GOVERNMENT**”), an organization having an address at **9915 39th Avenue, Pleasant Prairie, WI 53158**, and
- Peak Democracy Inc, a Delaware Corporation having an address at PO Box 516 Trinidad, CA 95570 (“**PEAK DEMOCRACY**”).

**1. BACKGROUND**

1.1 The Parties

1.1.a GOVERNMENT is interested in broadening online civic engagement.

1.1.b PEAK DEMOCRACY is a for-profit company focused on increasing, diversifying and synthesizing, civil online civic engagement via a suite of internet-based services.

1.2 Problem: The parties believe that government operations and decision-making processes can be enhanced by online forums that augment and diversify civic engagement, and increase the insights gleaned by government staff and leaders.

1.3 Solution: The parties believe that enabling a new channel by which citizens can learn about government issues and provide feedback via specially structured internet services can augment and diversify civil, online civic engagement, and more specifically: (a) facilitate easy and convenient participation in community issues, (b) prevent or limit the impact of disruptive behavior from discouraging participation, and (c) improve the efficiency of decisions makers to synthesize large amounts of diverse feedback.

1.4 Program: PEAK DEMOCRACY, and GOVERNMENT agree to implement OPEN TOWN HALL, an internet service that helps local governments increase, diversify and synthesize, civil online civic participation.

Now therefore, the parties agree as follows:



**2. OPEN TOWN HALL**

2.1 GOVERNMENT will pay PEAK DEMOCRACY **Six thousand dollars (\$6,000) for a one (1) year subscription** to OPEN TOWN HALL.

2.2 GOVERNMENT will designate a representative as the primary contact for implementing OPEN TOWN HALL and thereby interact with PEAK DEMOCRACY. Through this primary contact, GOVERNMENT will:

2.2.a Learn about the features, benefits and best practices of OPEN TOWN HALL, and communicate these features, benefits and best practices to GOVERNMENT employees, elected officials and residents.

2.2.b Specify the issues that GOVERNMENT wants to post on OPEN TOWN HALL via the administrative system supplied for that purpose;

2.2.c Facilitate the implementation of OPEN TOWN HALL within GOVERNMENT'S web site;

2.2.d Lead the promotion of (i) OPEN TOWN HALL in general and (ii) each posted issue in particular, to GOVERNMENT residents via press coverage and email notifications that use GOVERNMENT'S email lists.

2.2.e Co-present, with PEAK DEMOCRACY, a case study of GOVERNMENT's OPEN TOWN HALL use in a society of local government professionals chosen by GOVERNMENT.

2.3 PEAK DEMOCRACY will provide OPEN TOWN HALL to GOVERNMENT, and accordingly will:

2.3.a Host the software as a service on PEAK DEMOCRACY-provisioned servers;

2.3.b Provide administrative access privileges to an unlimited number of employees of GOVERNMENT and unlimited support to those employees for the term of this agreement;

2.3.c Provide all features and services listed in Exhibit A 'Scope of Work' which is incorporated into this OPEN TOWN HALL AGREEMENT;

2.3.d Advise GOVERNMENT on best practices to use with OPEN TOWN HALL, such as the best ways to implement in a web site, the best types of issues to post, and the best techniques to maximize usage by residents; and

2.3.e Assist residents that use GOVERNMENT'S OPEN TOWN HALL using email as the primary means of this assistance.

2.3.f Provide up to **6 hours** of custom software development services to GOVERNMENT. GOVERNMENT may purchase additional hours @ \$100/hour. Unused hours cannot be redeemed for cash, but can be carried over to subsequent Open Town Hall Agreements started at the conclusion of this Agreement.

### 3. MISCELLANEOUS

3.1 Duration: The initial duration of this OPEN TOWN HALL AGREEMENT is **one (1) year**, commencing on the date that this OPEN TOWN HALL AGREEMENT is fully executed by all the parties.

3.2 Expiration: This offer to enter into this OPEN TOWN HALL AGREEMENT expires **February 28, 2014**.

3.3 Extent: This OPEN TOWN HALL AGREEMENT embodies the entire understanding of the parties and supersedes all previous communications, representations, or understandings, whether oral or written, between the parties relating to the subject matter hereof

3.4 Scope: Nothing contained in this OPEN TOWN HALL AGREEMENT will be deemed to grant to GOVERNMENT either directly or by implication, estoppel, or otherwise any license or other rights in or to any copyrights, copyrightable material, patents, patent applications, or other proprietary interests of PEAK DEMOCRACY existing prior to the effective date of this OPEN TOWN HALL AGREEMENT or arising out of performance of this OPEN TOWN HALL AGREEMENT.

3.5 Independence: In performing their respective duties under this OPEN TOWN HALL AGREEMENT, each of the parties will be operating as an independent contractor. Nothing contained herein will in any way constitute any association, partnership, or joint venture between the parties hereto, or be construed to evidence the intention of the parties to establish any such relationship. Neither party will have the power to bind the other party or incur obligations on the other party's behalf without the other party's prior written consent.

3.6 Applicable Law: This OPEN TOWN HALL AGREEMENT shall be governed by, and GOVERNMENT and PEAK DEMOCRACY shall have all remedies afforded each by the Uniform Commercial Code as adopted in the State of California. This OPEN TOWN HALL AGREEMENT shall be governed by State of California law and suits pertaining to this OPEN TOWN HALL AGREEMENT may only be brought in courts located in Alameda County, California.

In witness whereof, PEAK DEMOCRACY, and GOVERNMENT have executed this OPEN TOWN HALL AGREEMENT by their respective officers hereunto duly authorized, on the date and year hereinafter written:

**Peak Democracy, Inc.**

**The Village of Pleasant Prairie**

By \_\_\_\_\_  
(Signature)

By \_\_\_\_\_  
(Signature)

Name \_\_\_\_\_  
(Please Print)

Name \_\_\_\_\_  
(Please Print)

Title \_\_\_\_\_

Title \_\_\_\_\_

Date \_\_\_\_\_

Date \_\_\_\_\_



# MEMO

Office of the Village Engineer  
Michael Spence, P.E., LEED® AP

TO: Mike Pollocoff/Village Administrator

FROM: Mike Spence/Village Engineer

RE: Memorandum of Agreement

DATE: January 28, 2014

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Attached are 4 copies of a Memorandum of Agreement with WisDOT regarding the construction of the Park and Ride project. Essentially it is saying that the Village agrees to design and construct the facility in accordance with WisDOT specifications and in an environmentally sound manner. It also states that we will pay for the DOT's management consultant (MC) services during construction. The Village will keep the MC involved during the construction and will include provisions in the construction consultant contract which recognize the authority of WisDOT and MC regarding environmental issues.. These conditions are the result of the existing cooperative agreement between WisDOT and WisDNR.

This agreement is critical to proceeding with the project and I recommend that it be executed by the Village President.

**MEMORANDUM OF AGREEMENT**  
**BETWEEN**  
**VILLAGE OF PLEASANT PRAIRIE**  
**AND**  
**WISCONSIN DEPARTMENT OF TRANSPORTATION**

**FOR**

**WISDOT PROJECT ID 1693-35-05/1693-35-75**  
**VILLAGE OF PLEASANT PRAIRIE**  
**PARK & RIDE LOT**  
**RECPLEX**  
**TERWALL TERRACE**  
**KENOSHA COUNTY**

The Village of Pleasant Prairie, in cooperation with Kenosha County, requests that the construction of the Kenosha County Park and Ride Lot located in Pleasant Prairie, WI and identified as WISDOT PROJECT ID 1693-35-05 & WisDOT PROJECT ID 1693-35-75 fall under terms of the Cooperative Agreement between the Wisconsin Department of Transportation (WisDOT) and the Wisconsin Department of Natural Resources (WisDNR). Pleasant Prairie is processing the design of this project under provisions set forth in the WisDOT's Facilities Development Manual (FDM) and WisDOT's Sponsor's Guide to Non-Traditional Project Implementation (Sponsor's Guide) and will comply with all relevant rules and law in the processing of this project. Pleasant Prairie will coordinate with WisDNR and other applicable agencies in the design and construction of this project.

It is the intent of Pleasant Prairie to Locally Let (LLC) this project with monies funded in part with Congestion Mitigation and Air Quality funds awarded by WisDOT in calendar year 2014. Pleasant Prairie requests continued oversight and application of the Cooperative Agreement during the construction of WisDOT Project ID 1693-35-75 as it relates to environmental issues as prescribed in the Environmental Report (ER) which is anticipated to be approved by the WisDOT and Federal Highway Administration (FHWA) in February 2014.

Pleasant Prairie understands that WisDOT must retain responsible charge of all environmental issues during the construction of this project. Pleasant Prairie recognizes this responsibility and agrees to defer any and all decisions regarding environmental issues to WisDOT or its Management Consultant (MC) representative as it relates to the WisDOT/WisDNR Cooperative Agreement.

Pleasant Prairie therefore agrees to:

1. Complete the Plans, Specifications, and Estimate (PS&E) for the project in accordance with the FDM and Sponsor's Guide, approved ER, and environmental commitments set forth in those documents.
2. Constructing the project in an environmentally safe and sound manner as specified in the PS&E and Local Let Contract.
3. Include all appropriate erosion control and other environmental items, contract provisions, special provisions, and specifications as per the Wisconsin Spec Book for Construction, in the PS&E as approved by WisDOT and WisDNR.
4. Hold a Draft PS&E Meeting and invite appropriate WisDOT and WisDNR officials.
5. Enter into a two-party contract with a construction consultant (CC) listed on the WisDOT Roster of Eligible Consultants for the inspection of construction operations and contract administration. The two-party contract between Pleasant Prairie and the CC will be submitted for WisDOT and MC review prior to execution and will provide provisions which recognize the authority of WisDOT and MC regarding environmental issues as it relates to the Cooperative Agreement. Further the Local Let Contract and said two-party contract will specify the ability of WisDOT or its MC to suspend construction operations for any violation of terms of the environmental

- commitments and/or provisions or specifications of the contract relating the environmental issues. In addition, the two-party contract will require the CC to develop and maintain a project diary relating to any and all environmental issues for the project and provide final documentation of said diary for WisDOT records.
6. Payment for activities as per the terms and conditions of the executed Project Agreement dated January 24, 2013 and costs associated with WisDOT/MC personnel or its representatives for oversight as it relates to environmental issues on the project before, during, and after construction as necessary to complete and close construction.
  7. Providing contract provisions which require the contractor to submit for WisDOT and WisDNR approval an Erosion Control Implementation Plan (ECIP) 14 days prior to the Preconstruction Conference.
  8. Hold a Preconstruction Conference as per WisDOT standards and practices and invite all parties as deemed appropriate by the WisDOT.
  9. Withholding Notice to Proceed until such time that the ECIP is approved by WisDOT/MC and WisDNR.
  10. Delineating and maintaining wetland boundaries prior as set forth in the approved 404 permit to Public Utility Companies and construction contractor operations.
  11. Requiring Public Utilities to obtain individual WisDNR permits as a condition of permits to work in project right-of-way as required for the relocation of facilities prior, during, and after construction as necessary for the completion of this project.
  12. Requiring the contractor to install all necessary erosion control devices prior to excavation operations.
  13. Immediately contacting the WisDOT and its representatives in the event of any emergency environmental issues as they arise.
  14. Addressing WisDOT requests or inquiries in a timely manner as it relates to environmental issues on the project.
  15. Inviting WisDOT and its representative to any and all construction meetings that relate to environmental issues on the project.



For Pleasant Prairie

For the State of Wisconsin  
Department of Transportation

By: \_\_\_\_\_

By: \_\_\_\_\_

Printed Name: \_\_\_\_\_

Printed Name: \_\_\_\_\_

Title: \_\_\_\_\_

Title: \_\_\_\_\_

Date: \_\_\_\_\_

Date: \_\_\_\_\_

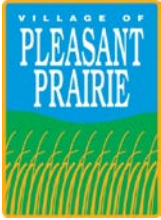
Approved

By: \_\_\_\_\_

Printed Name: \_\_\_\_\_

Title: \_\_\_\_\_

Date: \_\_\_\_\_



# MEMO

Office of the Village Engineer  
Michael Spence, P.E., LEED® AP

TO: Mike Pollocoff/Village Administrator

CC: Jane Romanowski/Village Clerk

FROM: Mike Spence/Village Engineer

DATE: January 28, 2014

ATTACHMENTS: Wetlands filled map  
Affidavit of Credit and Purchase Order

SUBJ: Park and Ride Wetland Bank Mitigation Credits

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The Wisconsin Department of Natural Resources (Department) has completed its review of the proposed mitigation plan by the Village of Pleasant Prairie to construct a park and ride facility including parking spaces, street connection, pedestrian bridge and stormwater pond in the Village of Pleasant Prairie, Kenosha County. The mitigation approach to purchase bank credits was approved and the Department has determined the Village must purchase credits at a 1.45:1 ratio for the 0.23 acres of fresh wet meadow wetland impacts and 1.7:1 for the 0.46 acres of shrub carr/alder thicket wetland impacts.

The Department has indicated that the Village can proceed with the purchase of **1.12 bank credits** from the Star Wetland Mitigation Bank. These credits need to be purchased by **February 28, 2014**. The credits must be purchased prior to DNR concurrence at final plan stage

The cost for the wetland credit is \$60,000 per acre. This results in a compensatory **wetland mitigation fee of \$67,200** to be paid by the Village. I am recommending that this fee be approved and paid. This will allow the final permits for the project from the Wisconsin Department of Natural Resources and the US Army Corps of Engineers to be issued. At that point the Village will be able to construct the Park and Ride project.





# Star Wetland Mitigation Bank

Gary W. Starzinski  
703 Third Street  
P.O. Box 434  
Marathon, WI 54448  
(715) 443-6115 or (715) 571-0829  
starensvironmental@hotmail.com

## Purchase Order

<b>Buyer:</b>	Village of Pleasant Prairie
<b>Contact person:</b>	Michael R. Spence, P.E., Leed®AP
<b>Address:</b>	9915 39th Ave. Pleasant Prairie, WI 53158
<b>Phone:</b>	262-948-8931 (direct)
<b>Fax or email:</b>	Fax: 262-925-6786


<b>Date</b>	1/28/2014
<b>Invoice #</b>	
<b>PO</b>	
<b>Terms</b>	As noted

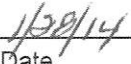
<b>Payment to:</b>	Gary W. Starzinski
<b>Address:</b>	705 Third Street P.O. Box 434, Marathon, WI 54448
<b>Phone:</b>	(715)443-6115 or (715)571-0829
<b>Fax or email:</b>	(715) 443-6108 starensvironmental@hotmail.com

Purchase order for 1.12 bank credits from  
the Star Wetland Mitigation Bank @ \$60,000.00 per credit or total value of \$67,200.00.

Terms:  
The buyer will complete this credit purchase prior to February 28, 2014.

Accepted:

\_\_\_\_\_  
(Purchaser's signature)  
  
  
 \_\_\_\_\_  
Gary W. Starzinski, Owner/Seller

\_\_\_\_\_  
Date  
  
  
 \_\_\_\_\_  
Date

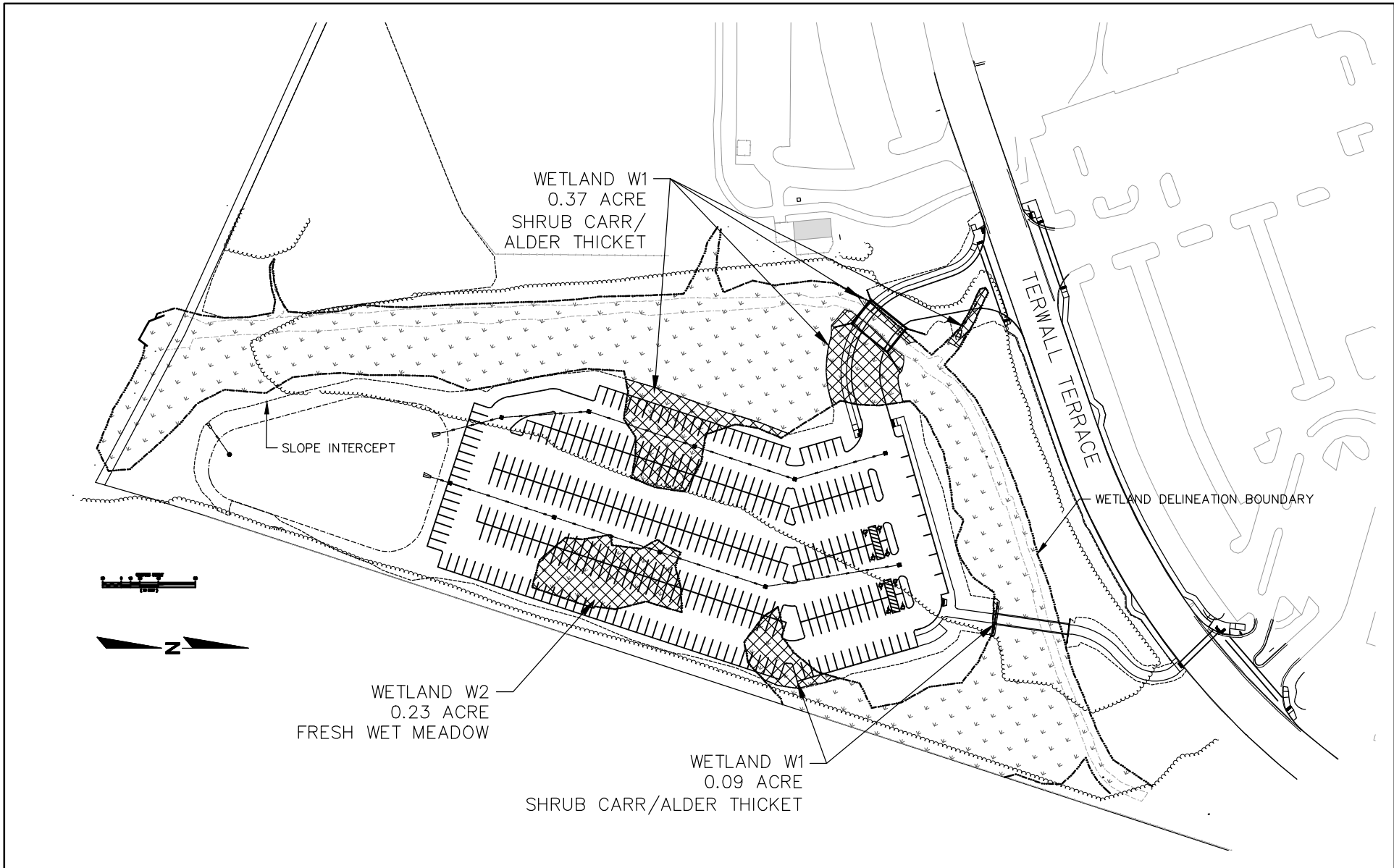
*Make Checks payable to Gary W. Starzinski. Thank you for your business.*

PO#:

I agree that the items/services have been received and authorize payment of this invoice.

1/29/14

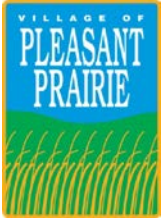
Approved by:   
Approved by: \_\_\_\_\_



KENOSHA COUNTY PARK & RIDE LOT  
VILLAGE OF PLEASANT PRAIRIE  
KENOSHA COUNTY

I.D. 1693-35-75

WETLAND OVERVIEW



# MEMO

Office of the Village  
Engineer/Building Inspection  
Michael Spence, P.E., LEED® AP

TO: Mike Pollocoff/Village Administrator

CC: Jane Romanowski/Village Clerk

FROM: Mike Spence/Village Engineer

DATE: January 30, 2014

ATTACH: Amendment 2 to Settlement Agreement BP Gas Station  
Exhibit 1  
Exhibit 2

SUBJ: Amendment 2 to Settlement Agreement

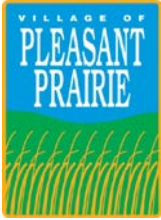
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The Village entered into a Settlement Agreement with VIDHYA Corp VIII, Inc. (BP) and issued a Conditional Use Permit (the “CUP”) including Site and Operational Plans through May 1, 2013 in connection with the operation of a gas station and convenience store at 10477 120<sup>th</sup> Avenue in Pleasant Prairie. The Settlement Agreement was executed by the parties on November 19, 2012. Subsequently an Amendment #1 to the Settlement Agreement executed on April 1, 2013 was also approved subject to the May 28, 2013 Village Plan Commission amended Conditional Use Permit approval.

On December 9, 2013, Vidhya submitted a written request to amend the Conditional Use Permit and modify the referenced Settlement Agreement and the subsequent Amendment #1 to Settlement Agreement with Settlement Agreement Amendment #2.

A Conditional Use Permit Amendment was conditionally approved on January 13, 2014 that would allow BP Amoco to continue to operate the gasoline station and convenience store subject to the Village Board of Trustees approval and execution of Amendment #2 to Settlement Agreement.

The Village’s Consultant, Drake Environmental Consulting Group (“Drake Environmental”) and I have evaluated the request for modifications and in doing so reviewed the proposed Amendments to Exhibit B – Sampling and Analytical Testing Plan, of the November 19, 2012 Settlement Agreement between the Village and Vidhya. The Village agrees to the Sampling and Analytical Testing Plan proposed changes which include modifications to the Analytical Test Parameters; Discharge Water Standards; and Reporting Requirements as set forth below:



# MEMO

Office of the Village  
Engineer/Building Inspection  
Michael Spence, P.E., LEED® AP

## A. Analytical Test Parameter Changes:

Monthly influent testing of the following parameters:

- PVOC + naphthalene,
- Total lead

Monthly effluent testing of the following parameters:

- PVOC + naphthalene,
- PAHs
- Total lead

The Village agrees that reduced monthly testing may be permitted so long as the laboratory analytical results for the effluent samples remain below the PAL (except in the case of total lead which will be required to comply with the Wisconsin Department of Natural Resources (WI DNR's) proposed enforcement standard for a permitted effluent discharge of 50µg/L daily maximum and a 18.24µg/L weekly average limit). (See **Exhibit 1**).

Such reduced sampling shall require the Vidhya to permit the Village to conduct the following monthly compliance sampling:

- Sampling for the above listed parameters for both influent and effluent locations up to twice per month and effluent sampling may be conducted for dissolved lead (up to once per month) for dissolved lead. Results shall be provided to the Village in a timely manner.

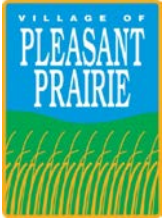
## B. Discharge Water Standards Change:

With regard to the proposed Discharge Water Standards change, the criteria for discharge shall remain the same as contained within the original agreement, until a revised WPDES Permit is issued to Vidhya stipulating the effluent standard for total lead at **50 µg/L daily maximum** and **18.24 µg/L weekly average limit**. When the WI DNR modifies the existing Vidhya WPDES Discharge Permit to include the above revised standards and the Village receives a copy of modified permit, then the Village will agree that the revised standard will become the new standard for total lead.

Vidhya shall be responsible for submitting a copy of the modified WPDES Discharge Permit to the Village upon receipt from the Wisconsin Department of Natural Resources (WI DNR).

## C. Reporting Requirements Changes:

With regard to the Reporting Requirements, frequency changes which have been proposed, the Village agrees to permit Vidhya to reduce the reporting frequency to a monthly submittal with



# MEMO

Office of the Village  
Engineer/Building Inspection  
Michael Spence, P.E., LEED® AP

the understanding that all of the requested information identified in the original Settlement Agreement be provided in all such future submittals.

The reporting frequency change shall not alter Vidhya's obligation to immediately notify the WI DNR and the Village of any discharge exceedances or other changes to the system at the site or deviations from anticipated performance of the system. Any future discovery of free product at the site shall also be immediately reported to the WI DNR and the Village.

In addition, as a result of the ongoing concerns regarding lead in the effluent from the treatment system, Vidhya will install dual bag filters downstream from the existing carbon chambers. (See Exhibit 2). The flow meter and sampling port will be located downstream from these newly installed filters.

#### D. Additional Conditions:

A supplemental site investigation work plan reasonably acceptable to the Village to determine the eastern edge of any impacts within the ditch line to the North and also to the east of the existing BP Amoco building, to include the horizontal and vertical extent of contamination) and to complete the definition of the vertical and horizontal extent of the contamination on the Property, shall be completed by Vidhya.

Groundwater sampling from the existing monitoring wells on the Property shall be completed concurrent with the sampling and testing of the four (4) new groundwater monitoring wells, and all test results from the testing of such groundwater samples and a site investigation report shall be delivered to DJ Burns at Drake Environmental and Village Engineer Mike Spence. Installation of the groundwater monitoring wells shall be subject to Culver's property owner's prompt and reasonable approval and cooperation.

- E. Based on the results of the supplemental site investigation, a site remediation plan, reasonably acceptable to the Village, shall be submitted to Village Engineer Mike Spence. The remediation plan shall include without limitation, testing and remediation in compliance with all local, state and federal laws, rules, regulations and ordinances, including without limitation, those contained in Chapter 292 of the Wisconsin Statutes. Remediation plan shall include removal of contaminated soil and restoration of any disturbed landscape or paved areas disturbed by the implementation of the remedial activities;

Village counsel has reviewed the Amendment and finds it to be acceptable. The recommendation is that the Village President execute the Amendment 2 to the BP Settlement Agreement.



## AMENDMENT #2 TO SETTLEMENT AGREEMENT

THIS AMENDMENT #2 to SETTLEMENT AGREEMENT is entered into this \_\_\_\_\_ day of February, 2014, between the Village of Pleasant Prairie, Wisconsin (referred to as the "Village") and VIDHYA Corp VIII, Inc. (referred to as "Vidhya").

### RECITALS

- A. VIDHYA Corp, VIII, Inc. ("Vidhya") is the current owner of a property located at 10477 120th Avenue, Pleasant Prairie Wisconsin (the "Property") with the following Tax Parcel Number: 92-4-122-302-0130. The Property contains the BP Amoco gasoline station #3789 and convenience store (the "Station").
- B. Vidhya received a Conditional Use Permit granted by the Village Plan Commission on July 16, 2012, 2012 and said approval included the requirement that Vidhya and the Village parties to enter into a **Settlement Agreement** to address remedial actions and activities for stopping illicit discharges from the Property. The **Settlement Agreement** was executed by the parties on November 19, 2012. Subsequently an **Amendment #1 to the Settlement Agreement** executed on April 1, 2013 was also approved subject to the May 28, 2013 Village Plan Commission amended Conditional Use Permit approval.
- C. On December 9, 2013, Vidhya submitted a written request to amend the Conditional Use Permit and modify the referenced **Settlement Agreement** and the subsequent **Amendment #1 to Settlement Agreement** with **Settlement Agreement Amendment #2**.
- D. A **Conditional Use Permit Amendment** was conditionally approved on January 13, 2014 that would allow BP Amoco to continue to operate the gasoline station and convenience store subject to the Village Board of Trustees approval and execution of **Amendment #2 to Settlement Agreement**.
- E. **Amendment #2** to Settlement Agreement addresses Vidhya's request for modified analytical test parameters, discharge water standards and modified reporting requirements of the carbon treatment system that will treat existing contaminated ground water from several reported hazard substance releases at the Property.
- F. The Village's Consultant, Drake Environmental Consulting Group ("Drake Environmental") and the Village Engineer have evaluated the request for modifications and in doing so reviewed the proposed Amendments to Exhibit B – Sampling and Analytical Testing Plan, of the November 19, 2012 Settlement Agreement between the Village and Vidhya. The Village agrees to the Sampling and Analytical Testing Plan proposed changes which include modifications to the Analytical Test Parameters; Discharge Water Standards; and Reporting Requirements as set forth below.

## AMENDMENT #2 TO SETTLEMENT AGREEMENT

Vidhya agrees to comply with the following:

### A. Analytical Test Parameter Changes:

Monthly influent testing of the following parameters:

- Petroleum Volatile Organic Compounds + Naphthalene (PVOC+N),
- Total Recoverable Lead (unfiltered)

Monthly effluent testing of the following parameters:

- PVOC+N,
- Polyuclear Aromatic Hydrocarbons (PAHs)
- Total Recoverable Lead (unfiltered)

On January 20, 2014, North Shore Environmental Construction (NSEC) installed high efficiency bag filters at the effluent of the water treatment remediation system containing a 1 micron bag filter on one side and a 1 micron cartridge on the other side to see which one works the best. Alpha Terra Science a division of Fehr Graham (ATS) will sample the effluent from the bottom of each of these two new bag filters. Thus, for one sample event, the effluent will consist of two (2) samples for the parameters listed above to give NSEC an idea which filter works the best and will last the longest. Once NSEC is satisfied with the data on which filter works better, the dual bag filters will be replaced with the same type of filter. Sampling after this time will then require only one (1) sample from the effluent for the parameters listed above.

The Village agrees that reduced monthly testing may be permitted so long as the laboratory analytical results for the effluent samples remain below the PAL (except in the case of Total Recoverable Lead which will be required to comply with the Wisconsin Department of Natural Resources (WI DNR's) proposed enforcement standard for a permitted effluent discharge of 50µg/L daily maximum and a 18.24µg/L weekly average limit). (See Exhibit 1).

Such reduced sampling shall require Vidhya to permit the Village to conduct the following monthly compliance sampling:

- Sampling for the above listed parameters for both influent and effluent locations up to twice per month and effluent sampling may be conducted for dissolved lead (up to once per month). Results shall be provided to the Village in a timely manner.

### B. Discharge Water Standards Change:

With regard to the proposed Discharge Water Standards change, the criteria for discharge shall remain the same as contained within the original agreement, until a revised WPDES Permit is issued to Vidhya stipulating the effluent standard for total lead at **50 µg/L daily maximum** and **18.24 µg/L weekly average limit**. When the WI DNR modifies the existing Vidhya WPDES Discharge Permit to include the above revised standards and the Village receives a copy of modified permit, then the Village will agree that the revised standard will become the new standard for total lead.

Vidhya shall be responsible for submitting a copy of the modified WPDES Discharge Permit to the Village upon receipt from the Wisconsin Department of Natural Resources (WI DNR).

C. Reporting Requirements Changes:

With regard to the Reporting Requirements, frequency changes which have been proposed, the Village agrees to permit Vidhya to reduce the reporting frequency to a monthly submittal with the understanding that all of the requested information identified in the original Settlement Agreement be provided in all such future submittals.

The reporting frequency change shall not alter Vidhya's obligation to immediately notify the WI DNR and the Village of any discharge exceedances or other changes to the system at the site or deviations from anticipated performance of the system. Any future discovery of free product at the site shall also be immediately reported to the WI DNR and the Village.

In addition, as a result of the ongoing concerns regarding lead in the effluent from the treatment system, NSEC (on behalf of Vidhya) installed dual bag filters downstream from the existing carbon chambers on January 20, 2014. (**See Exhibit 2**). The flow meter and sampling port is located downstream from these newly installed filters.

D. Additional Conditions:

A supplemental site investigation work plan reasonably acceptable to the Village to determine the eastern edge of any impacts within the ditch line to the North (to include the area immediately downstream to the east of the existing BP Amoco stormwater discharge and the area thirty (30) feet east of the stormwater discharge. To complete the definition of the vertical and horizontal extent of the contamination on the Property, this supplemental site investigation scope of work shall include installing four (4) additional groundwater monitoring wells along the boundary between the east property line of the BP Station and the western property boundary of the Culvers with soil samples taken within the 0 to 4 feet direct contact interval and at the smear zone interval at approximately 8 to 10 feet. Depending upon interferences in this area, the wells may need to be on either the BP Property or the Culver's Property next to the property line. This supplemental site investigation work plan shall be delivered to DJ Burns at Drake Environmental and Village Engineer Mike Spence by **5:00 PM on February 28, 2014**.

Groundwater sampling from the existing monitoring wells on the Property shall be completed concurrent with the sampling and testing of the four (4) new groundwater monitoring wells, and all test results from the testing of such groundwater samples and a site investigation report shall be delivered to DJ Burns at Drake Environmental and Village Engineer Mike Spence. Installation of the groundwater monitoring wells shall be subject to Culver's property owner's prompt and reasonable approval and cooperation.

- E. Based on the results of the supplemental site investigation, a site remediation plan, reasonably acceptable to the Village, shall be submitted to Village Engineer Mike Spence by **April 30, 2014**; said remediation plan shall include without limitation, testing and remediation in compliance with all local, state and federal laws, rules, regulations and ordinances, including without limitation, those contained in Chapter 292 of the Wisconsin Statutes. Remediation plan shall include removal, treatment, or capping of contaminated soil as necessary for compliance with WDNR standards. Upon completion of remediation activities, disturbed landscape or paved areas will be restored; all subject to Culver's property owner's prompt and reasonable access approval and cooperation.

- F. Consult with the WI DNR and obtain WI DNR comments on the planned Site Remedial Activities;
- G. Substantial completion of all onsite and offsite (a) north ditch shallow soil removal and (b) proposed remedial action plan Site Remedial Activities related to the east side BP Property line groundwater monitoring wells in accordance with the site remediation plan shall take place on or before **(a) June 1, 2014 and (b) two months after approval by the Village of the remedial action plan for the east side area; for example, if the east side of BP remedial action plan is approved by the Village on May 15, 2014, then the substantial deadline for this area shall be July 15, 2014.** Substantial completion is defined as removal, treatment, or capping of contaminated soil as necessary for compliance with WDNR standards (which pose direct contact risk, threat to groundwater and/or threat to environmental wetlands at the Des Plaines River) and replacement with suitable material and restoration. Liquidated damages for failure to achieve substantial may be assessed at **\$200 per day.**
- H. Vidhya acknowledges the Village has not unreasonably delayed the issuance of any permits and Vidhya acknowledges that the Village has not breached any term or provision of the Agreement and has not caused any delays to Vidhya's performance under the Agreement.
- I. Except as specifically provided otherwise in this Amendment, Vidhya shall comply with each and every provision of the Agreement.
- J. Vidhya shall comply with all other conditions as set forth in the adopted and amended Conditional Use permits for the property.
- K. Notices and information to be provided to Village Engineer Mike Spence and DJ Burns at Drake Environmental in this Amendment shall be deemed delivered upon the email or facsimile transmission of such notices or information to both Village Engineer Mike Spence and DJ Burns at Drake Environmental.

IN WITNESS WHEREOF, the parties have entered into this Amendment on the date first written above.

VIDHYA Corp VIII, Inc.

The Village of Pleasant Prairie

By: \_\_\_\_\_

By: \_\_\_\_\_  
John P. Steinbrink, Village President

Date: \_\_\_\_\_

Date: \_\_\_\_\_

ATTEST:

By: \_\_\_\_\_  
Jane M. Romanowski, Village Clerk

## Mike Spence

---

**From:** Donald P. Gallo <dgallo@reinhardtlaw.com>  
**Sent:** Wednesday, January 08, 2014 3:03 PM  
**To:** 'Ratarasarn, Theera T - DNR'; Mike Spence; djburns@drakecg.com  
**Cc:** Luba, Michael A - DNR; Roszak, Deborah - DNR; Laube-Anderson, Shanna L - DNR; Wood, Peter C - DNR; 'J. Michael McTernan'; Priti Patel (ddwc1@sbcglobal.net); Ken Ebbott; Matt Dahlem (mattdahlem@alphaterra.net); richard@nsecinc.com  
**Subject:** RE: Proposed Lead Monitoring for BP- Pleasant Prairie  
**Categories:** BP Item

Theera;

On behalf of VIDHYA, we accept and agree to these two (2) new lead monitoring limits for Total Recoverable Lead on a going forward basis per your email below. We anticipate that you will issue a revised WPDES permit with an effective date sometime in the near future. Thank you, and Best Wishes,

### Donald P. Gallo

Reinhart Boerner Van Deuren s.c.  
N16 W23250 Stone Ridge Drive, Suite One | Waukesha, WI 53188  
Office: 262-951-4555 | Cell: 414-507-6350 | Fax: 262-951-4690  
[dgallo@reinhardtlaw.com](mailto:dgallo@reinhardtlaw.com) | [bio](#) | [vCard](#) | [reinhardtlaw.com](#)  
Legal Secretary: Theresa Skrove | 262-951-4567 | [tskrove@reinhardtlaw.com](mailto:tskrove@reinhardtlaw.com)



---

**From:** Ratarasarn, Theera T - DNR [mailto:Theera.Ratarasarn@wisconsin.gov]  
**Sent:** Wednesday, January 08, 2014 2:06 PM  
**To:** Mike Spence (mspence@plprairiewi.com); Donald P. Gallo  
**Cc:** Luba, Michael A - DNR; Roszak, Deborah - DNR; Laube-Anderson, Shanna L - DNR; Wood, Peter C - DNR; Ratarasarn, Theera T - DNR  
**Subject:** Proposed Lead Monitoring for BP- Pleasant Prairie

January 8, 2014

Michael Spence, P.E., LEED<sup>®</sup> AP – Village Engineer, Village of Pleasant Prairie  
Attorney Donald P. Gallo - Reinhart Boerner Van Deuren s.c.

Due to recent concerns (and detection) of lead in discharge samples that were taken from the BP Gas Station located at 10477 120<sup>th</sup> Avenue in the Village of Pleasant Prairie, I propose to amend the General Permit Cover Letter issued November 2, 2012 to include lead monitoring. In the General Permit there are two (2) limits for Total Recoverable Lead: A daily Maximum of 50 ug/L, and a Weekly Average Limit. As per section 3.8 of the permit, compliance with lead limits listed in this permit may be demonstrated by testing for total recoverable lead or total lead.

As per our Limit Calculator, the weekly average limit shall be calculated as 1/3 of the weekly average (chronic) lead concentration as a function of the receiving water hardness as specified in s. NR 105.06(table 6) Wis. Adm. Code. The receiving water hardness is determined to be 200 ppm. Therefore, the limit is calculated at  $54.71/3 = 18.24$  ug/L.

Although there is also a mass limit for lead in the permit, I believe that these concentration limits are already protective of the receiving water.

I would like to apologize to Attorney Gallo for not being more specific with the numbers during my conversation with him on December 5, 2013.

I initially did not want to proceed with this proposal during a legal dispute. If acceptable by both parties, please let me know and I will amend the Cover Letter. Again, I appreciate both parties for working with the Department to resolve this issue. Please contact me at any time if you have additional comments or questions.

Sincerely,

 *Theera Ratarasarn P.E.*

Wastewater Engineer - Southern District  
Wisconsin Department of Natural Resources  
2300 n. Dr. Martin Luther King Jr. Dr.  
Milwaukee, WI 53212

(☎) phone: (414) 263-8650

(☎) fax: (414) 263-8716

(✉) e-mail: [Theera.Ratarasarn@wisconsin.gov](mailto:Theera.Ratarasarn@wisconsin.gov)

Website: [dnr.wi.gov](http://dnr.wi.gov)

Find us on Facebook: [www.facebook.com/WIDNR](http://www.facebook.com/WIDNR)

*Quality Customer Service is Important to Us. Tell Us How We Are Doing.*

Water Division Customer Service Survey

<https://www.surveymonkey.com/s/WDNRWater>

---

**From:** Mike Spence [<mailto:mspence@plprairiewi.com>]

**Sent:** Monday, January 06, 2014 11:31 AM

**To:** Ratarasarn, Theera T - DNR

**Subject:** BP Site

**Michael R. Spence, P.E., LEED<sup>®</sup> AP**

*Village Engineer*

*Village of Pleasant Prairie*

*9915 39th Ave.*

*Pleasant Prairie, WI 53158*

*Phone: 262-948-8931 (direct)*

*Fax: 262-925-6786*

*Email: [mspence@plprairiewi.com](mailto:mspence@plprairiewi.com)*

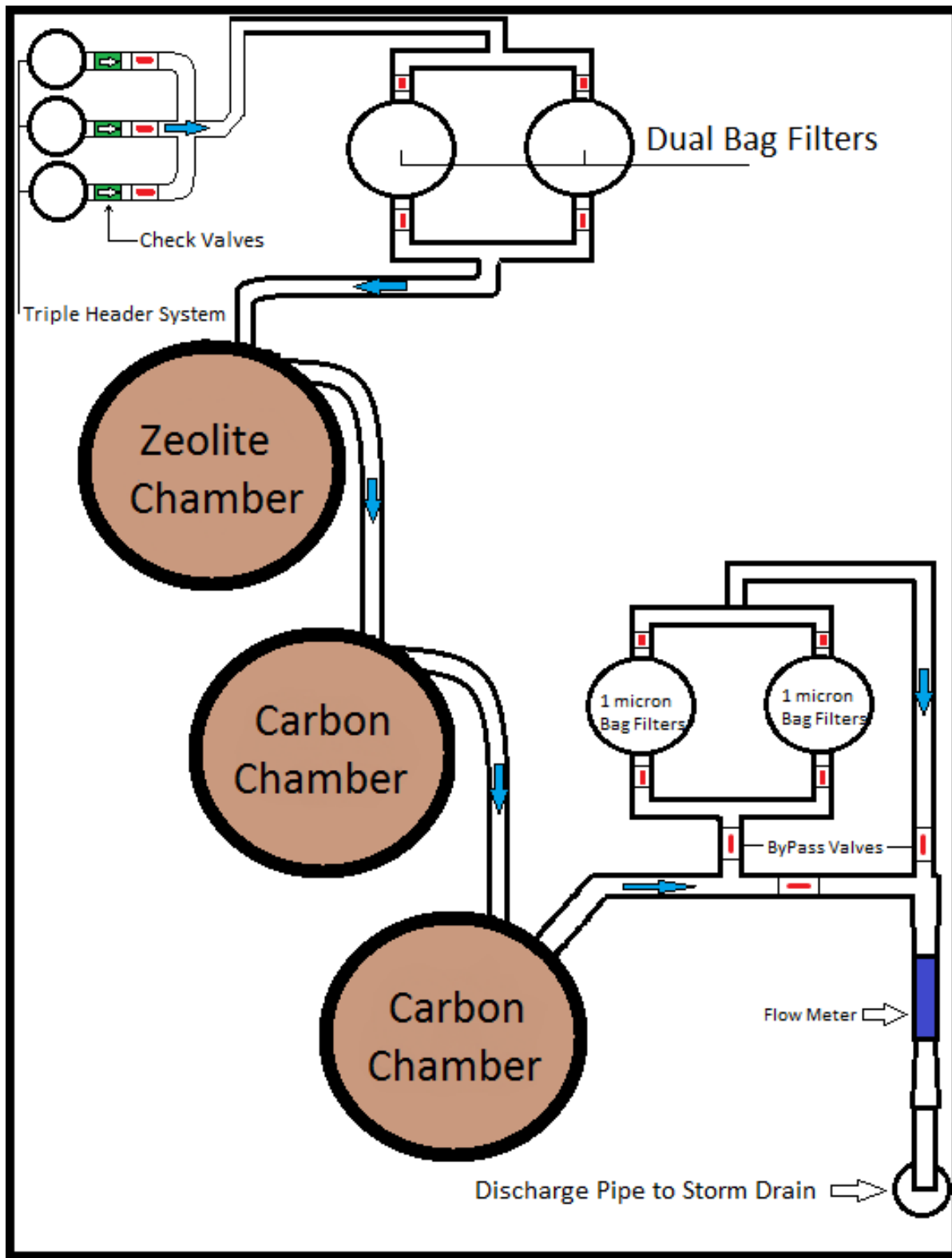
**Go Green! Please think about our environment before printing this email.**

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Exhibit 2



N117 W18493 Fulton Drive  
 rmantown, Wisconsin 53022  
 55.4468 • Fax 262.255.6993  
 ail: northshore@nsecinc.com

**Well Water Treatment System**

**For the BP located at 10477 120<sup>th</sup> Ave**

**Pleasant Prairie, WI**

Scale

Date December 6, 2013

Project No. 12B08

Figure





# MEMORANDUM

**TO: VILLAGE BOARD OF TRUSTEES**

**FROM: JOHN P. STEINBRINK SR.  
VILLAGE PRESIDENT**

**DATE: JANUARY 30, 2014**

**RE: PLAN COMMISSION APPOINTMENTS**

---

I recommend the following appointments to the Plan Commission:

Judith A. Juliana Term- May 1, 2016  
This seat was previously held by Larry Zarletti.  
Judy will fill the remaining term.

Bill Stoebig (Alternate #1) Term – May 1, 2015  
This seat was held by Judith A Juliana

**CLERK'S CERTIFICATION OF  
BARTENDER LICENSE APPLICATIONS**

**Period Ending:      January 29, 2014**

I, Jane M. Romanowski, Village Clerk of the Village of Pleasant Prairie, Kenosha County, Wisconsin, do hereby certify the following persons have applied for bartender licenses and **each applicant is in compliance with the guidelines set forth in Chapter 194 of the Municipal Code**. I recommend approval of the applications for each person as follows:

NAME OF APPLICANT

LICENSE TERM

- |                       |                    |
|-----------------------|--------------------|
| 1. Richard K. Judeika | thru June 30, 2015 |
| 2. Lindsey M. Maier   | thru June 30, 2015 |
| 3. Shazia Naheed      | thru June 30, 2015 |
| 4. Amanda N. Tiberio  | thru June 30, 2015 |

Jane M. Romanowski  
Village Clerk